



Application for Conditional Use Permit

www.co.redwood.mn.us

Permit #: 3-19 Date: 3-4-19

Location of Proposed Use:

Address: 27246 Co Hwy 1 City: Redwood Falls State: MN Zip: 56283
House # Street Name
Parcel #: 69-005-4020 Township: three Lakes Section: 5 Twp #: 111 N Range: 35 W

Legal Description:

SE 1/4 of Sec 5, T 111 N, R 35W, Redwood County, MN

Information about the Site:

Zoning District: Agriculture

General description of the building(s) and proposed use:

New 259' self-support telecommunications tower, and ancillary ground equipment. Original Cup #2-17 expired. Re-applying with one change; metal equipment platform will be changed to concrete slab of similar size. We don't yet have updated construction drawings reflecting the concrete equipment pad, but can provide them in the Building permit application.

Building Size: (Please enter dimensions in feet) outdoor equipment platform with equipment racks
Width: ~9'4" Length: ~14' Diameter: / Total Height: ~6'

Setbacks: (Please enter in feet)

Side Yard Setback: 1000' plus Direction: N

Side Yard Setback: 1000' plus Direction: S

Rear Yard Setback: 2000' plus Direction: W

Road Type: Co Hwy Setback from the Right-of-Way: 419'

Right-of-Way Width from Centerline 33 ft

Type of Sewer System:

NA

Drainage Plan:

NA

Other Information:

[Empty box for other information]

Applicant Information:

First Name: Donovan Last Name: McCain
Business Name: on behalf of Verizon wireless
Address: 1360 Energy Park Dr ste 210 City: St. Paul State: MN Zip: 55108
Home Phone: _____ Cell Phone: 651-341-5666 Email: dmccain@bwell consulting.com

Operator Information: (Complete only if different from Applicant)

First Name: _____ Last Name: _____
Business Name: Verizon Wireless
Address: one Verizon way ^{mail stop 44w100} City: Basking Ridge State: NJ Zip: 07920
Home Phone: _____ Cell Phone: _____ Email: _____

Land Owner Information: (Complete only if different from applicant)

First Name: Lester Last Name: Schultz
Address: 27246 Co Hwy 1 City: Redwood Falls State: MN Zip: 56283
HomePhone: _____ CellPhone: 507-644-5332 Email: none

I affirm that the forgoing information is true and accurate. I understand that if any portion of this information is false or materially misleading, any conditional use permit issued in reliance upon this information is voidable at the election of Redwood County.

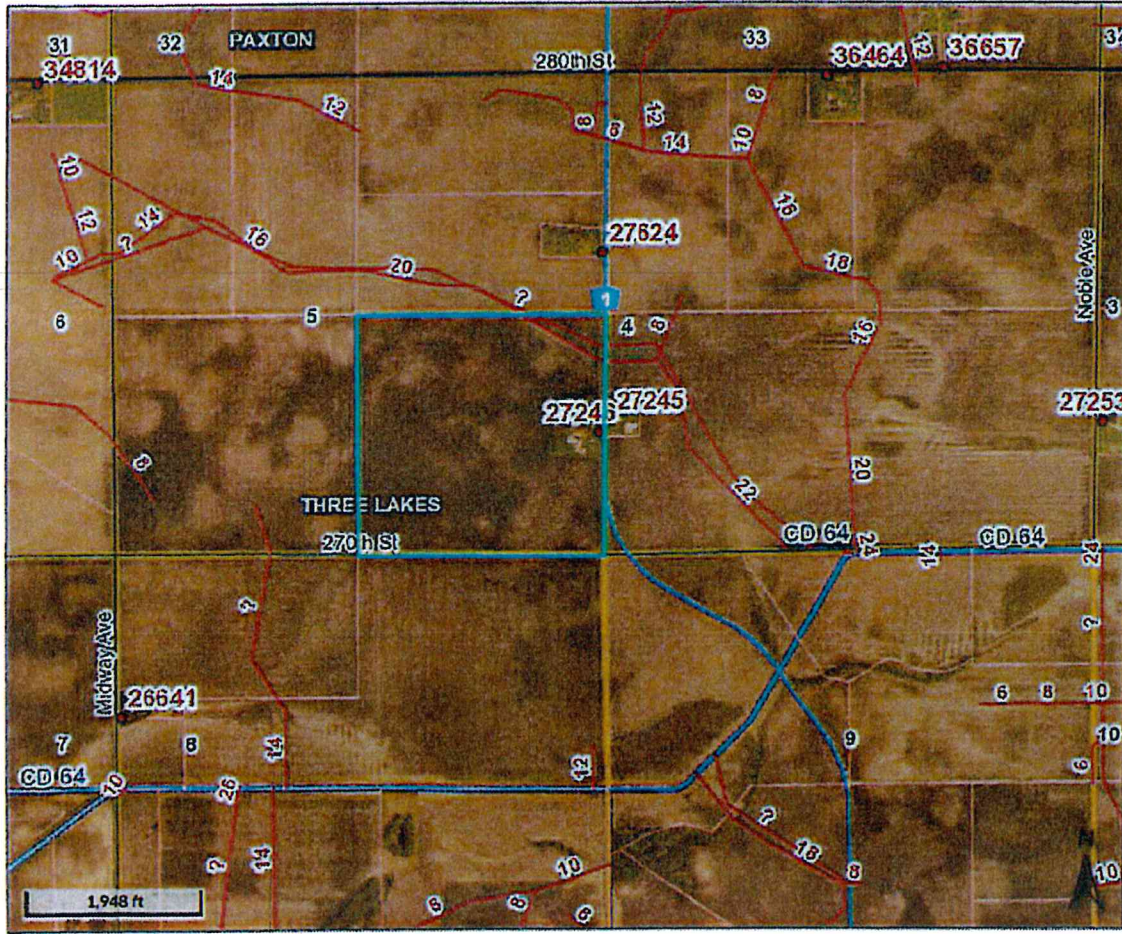
Applicant on behalf of Verizon wireless, leasehold interest, MDL attached
Land Owner Signature [Signature] Date: 2/26/19

Office Use Only: * The section below is to be filled out by the Environmental Office Staff

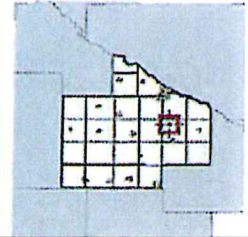
Permit Fee: \$0.00 Receipt #: 184948 Date Approved: _____

Application Received: 3-4-19

Commission Action: _____ **County Board Action:** _____
Approved: _____ Date: _____ Approved: _____ Date: _____
Disapproved: _____ Date: _____ Disapproved: _____ Date: _____



Overview



Legend

- Municipal Boundaries
- Sections
- Surrounding Counties
- Townships
- Open Ditch
- Drain Tile
- Lakes
- Rivers
- Address points
- Parcels
- Zoning**
- B1
- I1
- R1
- S
- UE
- 2M
- AG
- Major Roads**
- County/Twp/City
- State/Federal
- County
- Minor Roads

Parcel ID 69-005-4020
 Sec/Twp/Rng 5-111-35
 Property Address 27246 CO HWY 1 RWF
 56283

Alternate ID n/a
 Class AGRICULTURE
 Acreage 160

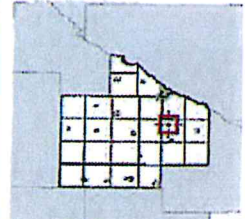
Owner Address SCHULTZ/LESTER W/ET AL
 27246 CO HWY 1
 REDWOOD FALLS MN 56283

District n/a
 Brief Tax Description SE1/4, 160A
 (Note: Not to be used on legal documents)







Date created: 1/18/2017
 Last Data Uploaded: 1/18/2017 10:12:14 AM



Overview




Legend

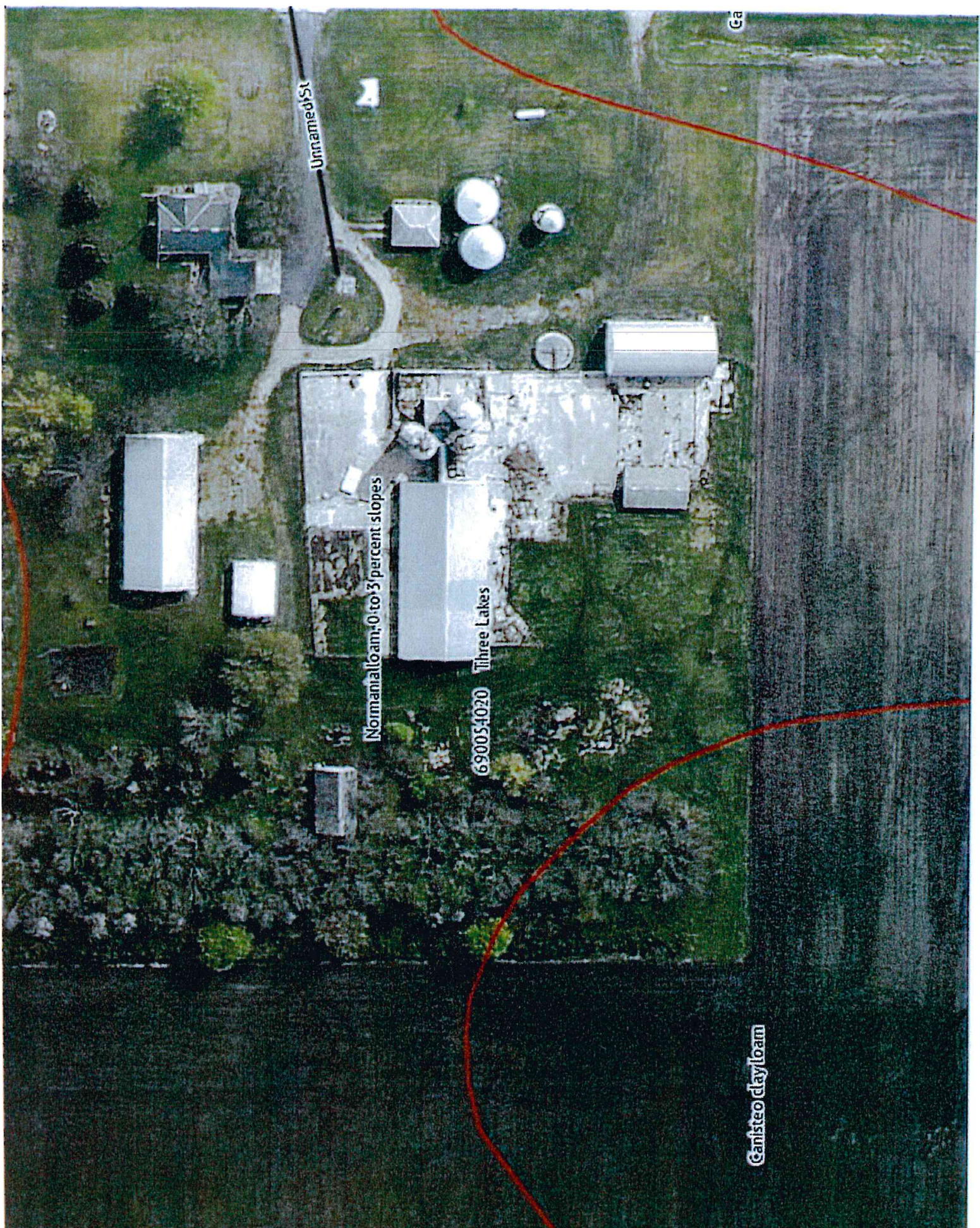
-  Municipal Boundaries
-  Sections
-  Surrounding Counties
-  Townships
-  Open Ditch
-  Drain Tile
-  Address points
-  Parcels
- Major Roads**
-  County/Twp/City
-  State/Federal
-  County
-  Minor Roads

Parcel ID	69-005-4020	Alternate ID	n/a	Owner Address	SCHULTZ/LESTER W/ET'AL
Sec/Twp/Rng	5-111-35	Class	AGRICULTURE		27246 CO HWY 1
Property Address	27246 CO HWY 1 RWF	Acreage	160		REDWOOD FALLS MN 56283
	56283				
District	n/a				
Brief Tax Description	SE1/4, 160.A				
	(Note: Not to be used on legal documents)				

Date created: 1/18/2017
 Last Data Uploaded: 1/18/2017 10:12:14 AM

 Developed by
 The Schneider Corporation





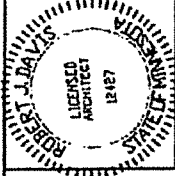
Unnamed St

Normal loam, 0 to 3 percent slopes

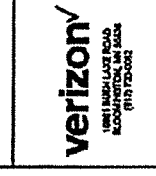
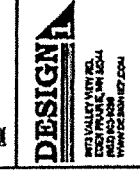
69005-1020 Three Lakes

Ca

Canisteo clay loam



I hereby certify that the
 information on which this
 permit is based is true and
 correct to the best of my
 knowledge and belief, and
 that I am a duly Licensed
 Professional Engineer in
 the State of Minnesota.
 ROBERT J. DAVIS, P.E. No. 12427



PROJECT
 20161284728
 LOC. CODE 304395

MN08
MAGNOLIA

COUNTY ROAD 1
 REDWOOD FALLS, MN
 56283

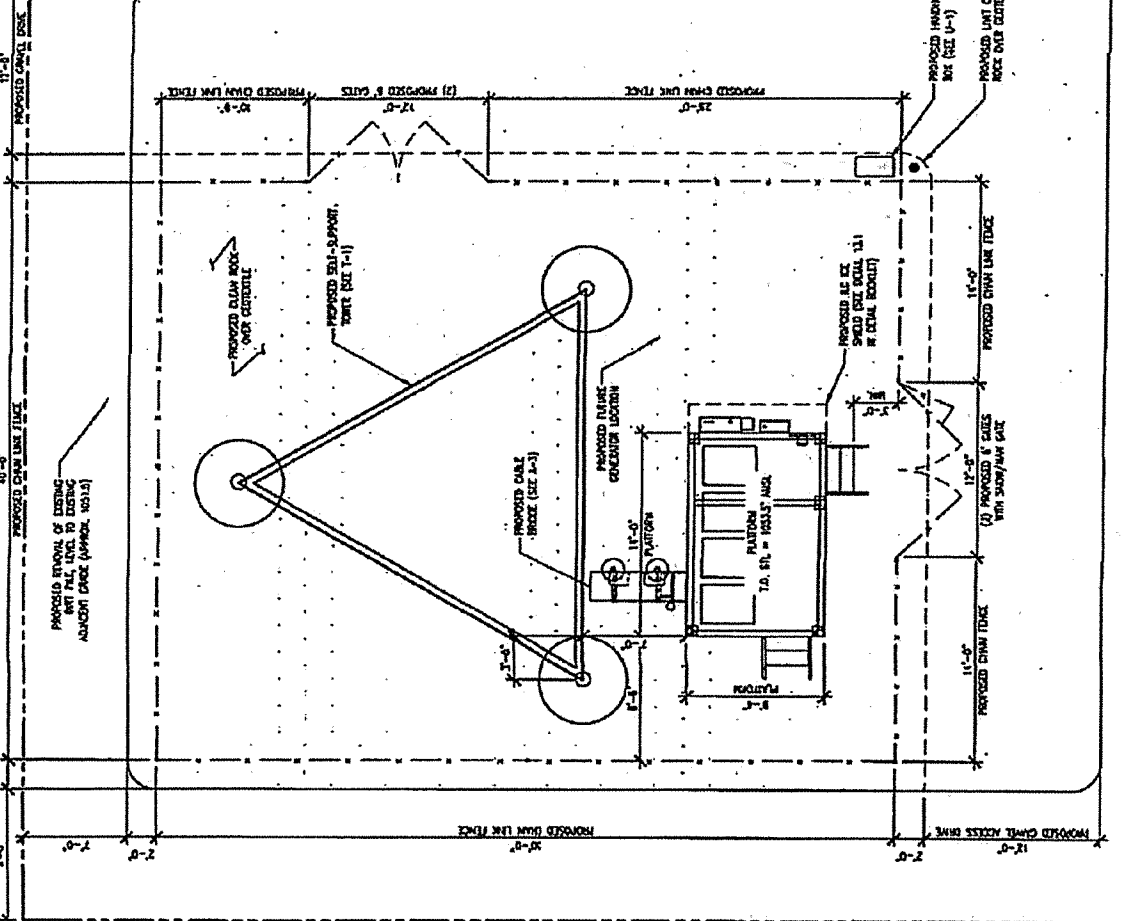
SHEET CONTENTS:
 ENLARGED SITE PLAN

DRAWN BY:	STACY Z.
DATE:	05-23-18
CHECKED BY:	MURPHY
REV. A:	10-26-18
REV. B:	05-11-18

A-2

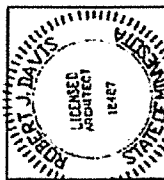
NOTE:
 CONTRACTOR TO CONDUCT PUBLIC AND
 PRIVATE UTILITY LOCATIONS PRIOR TO
 COMMENCEMENT OF CONSTRUCTION AND
 THE NEW CONSTRUCTION SHALL BE
 SCHEDULED TO BE COMPLETED
 IMMEDIATELY UPON THE END OF
 CONSTRUCTION.

NOTE:
 PROPOSED PLANTION PROJECT ASSUMES
 THE USE OF THE EXISTING 12" DIA.
 WATER MAIN (SEE 1-1) FOR IRRIGATION
 WATER. THE CONTRACTOR SHALL
 VERIFY THE LOCATION AND DEPTH OF
 ALL UTILITIES PRIOR TO CONSTRUCTION
 AND SHALL BE RESPONSIBLE FOR
 PROTECTING EXISTING UTILITIES.
 PROPOSED IRRIGATION SYSTEM SHALL
 BE DESIGNED BY THE CONTRACTOR
 AND SHALL BE SUBJECT TO APPROVAL
 BY THE CITY OF REDWOOD FALLS.



1 ENLARGED SITE PLAN
 SCALE: 1/8" = 1'-0"





I hereby certify that I am
 the author of the design
 and drawings hereon
 and that I am a duly
 licensed architect in the
 State of Maryland.
 ROBERT J. DAVIS, No. 12147
 ARCHITECT

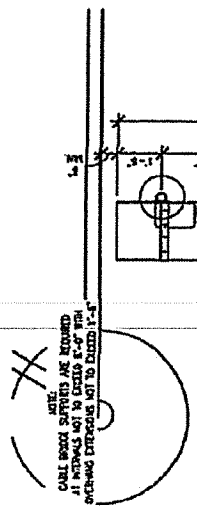


PROJECT
 2015282628
 LOC. CODE 594305
MIND8
MAGNOLIA
 COUNTY ROAD 1
 REDWOOD FALLS, MD
 52203

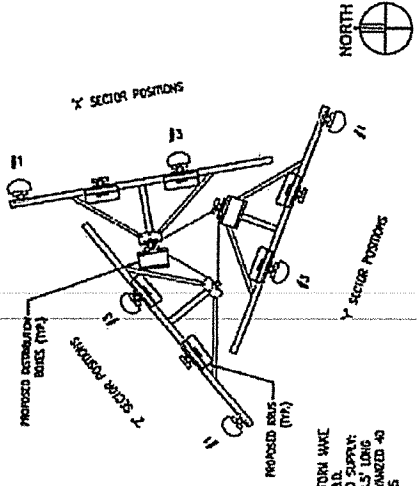
SHEET CONTENTS:
 CABLE ANTENNA MOUNTING
 ANTENNA MOUNTING DETAIL

DATE: 07/25/14
 CHECKED BY: JLD
 REV. A: 08/08/14
 REV. B: 02/21/14

A-3



2 CABLE BRIDGE PLAN
 SCALE: 1/4" = 1'-0"



1 ANTENNA MOUNTING DETAIL
 SCALE: 3/16" = 1'-0"

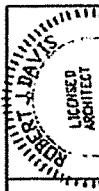
SECTION	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MO	ANTENNA CENTER TO CENTER	MECH CENTER TO CENTER	CONNECTION	CONTRACT	WORK	REVISIONS	DATE
X SECTION	10	1	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR
	11	1	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR
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	13	1	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR
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	15	1	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR
Y SECTION	16	1	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR
	17	1	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR
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	21	1	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR
Z SECTION	22	1	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR
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	24	1	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR
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	27	1	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR

3 COAX KEY
 SCALE: NONE

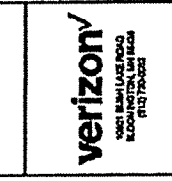
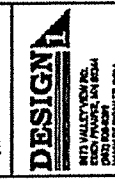
4 ANTENNA KEY
 SCALE: NONE

ANTENNA KEY: 1- TRUSS/PLATFORM W/RC...
 (1) 2.5" x 1.5" LONG
 SCHEDULE GALVANIZED 40
 MOUNTING PIPES

NOTE:
 1- TRUSS/PLATFORM W/RC...
 (1) 2.5" x 1.5" LONG
 SCHEDULE GALVANIZED 40
 MOUNTING PIPES



Professional seal and stamp, No. 15487, State of Maryland. Name: Robert J. Manno, Licensed Architect.



PROJECT: 201512M129
LDG. CODE: 394395

MN08
MAGNOLIA

COUNTY ROAD 1
REDWOOD FALLS, MN
56285

SHEET CONTENTS:
OUTLINE SPECIFICATIONS

Table with 3 columns: DRAWING NO., DATE, CHECKED BY. Includes drawing numbers like 05-30-211, 05-30-212, etc.

A-4

DESIGNATED TRADES & FITS

- FOUNDATION PLATFIRM
SOIL-SUPPORT TOWER
ANDIAS, RAYBOND/T-TRAKS
CABINETS
CONCRETE
COUN AN/OF CABLES
ANDIAS, A TONELLI BRACKETS
CABINETS
SPECIAL INSULATIONS FITS

ITEMS

- 05 000 METALS
CONTRACTOR SHALL FURNISH AND INSTALL...
05 100 BRASS
05 200 CONCRETE
05 300 STEEL
05 400 FINISHES

CONCRETE

- 03 1000 CONCRETE FORMWORK
03 1100 CONCRETE REINFORCEMENT
03 1200 CONCRETE CURING

WOOD

- 05 1000 MILLWORK
05 1100 CASING & MOLDINGS
05 1200 FLOORING

MECHANICAL

- 08 1000 MECHANICAL INSULATION
08 2000 ROOFING
08 3000 PAINTS & COATINGS

SEE PREPAREMENT

CONTRACTOR SHALL PROVIDE...
CONTRACTOR SHALL PROVIDE...
CONTRACTOR SHALL PROVIDE...

SEE PREPAREMENT

CONTRACTOR SHALL PROVIDE...
CONTRACTOR SHALL PROVIDE...
CONTRACTOR SHALL PROVIDE...

SEE PREPAREMENT

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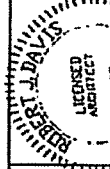
SEE PREPAREMENT

CONTRACTOR SHALL PROVIDE...
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SEE PREPAREMENT

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CONTRACTOR SHALL PROVIDE...
CONTRACTOR SHALL PROVIDE...



DESIGN
1000 BUSH LAKE ROAD
ANN ARBOR, MI 48106
PH: 734-769-1000
WWW.DESIGNMI.COM

PROJECT
2017084928
LOC. CODE: 994095

MN08
MAGNOLIA

COUNTY ROAD 1
REDWOOD FALLS, MN
56283

SHEET CONTENTS:
GROUNDING NOTES

G-1

GENERAL GROUNDING NOTES

An external bonded ground ring (loop) shall be installed around the perimeter of the building and tower foundation. The ring shall be installed at least 24" below the lowest level of the building or tower foundation. The ring shall be installed at least 24" below the lowest level of the building or tower foundation. The ring shall be installed at least 24" below the lowest level of the building or tower foundation.

SPECIAL CONSIDERATIONS FOR GROUND RODS:
When ground rods are not installed to be installed by the contractor, the contractor shall be responsible for the installation of the ground rods. The contractor shall be responsible for the installation of the ground rods.

GROUND BARS:
Ground bars are installed in accordance with the manufacturer's instructions. The ground bars shall be installed in accordance with the manufacturer's instructions.

CONNECTOR DETAIL:
The connector shall be installed in accordance with the manufacturer's instructions. The connector shall be installed in accordance with the manufacturer's instructions.

EXOTHERMIC WELD DETAIL:
The exothermic weld shall be installed in accordance with the manufacturer's instructions. The exothermic weld shall be installed in accordance with the manufacturer's instructions.

SCALE:
1" = 1'-0"

SYMBOL AND NOTE LEGEND

- ① 1/2" x 1/4" x 1/4" GALVANIZED STEEL GROUND ROD
- ② 3/4" x 1/2" x 1/4" GALVANIZED STEEL GROUND ROD
- ③ 1" x 1/2" x 1/4" GALVANIZED STEEL GROUND ROD
- ④ 1/2" x 1/2" x 1/4" GALVANIZED STEEL GROUND ROD
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- ㊾ 1/2" x 1/2" x 1/4" GALVANIZED STEEL GROUND ROD
- ㊿ 3/4" x 1/2" x 1/4" GALVANIZED STEEL GROUND ROD

NOTE: REMOVE GALVANIZING FROM FENCE POSTS BY ANGLES LUGS WILL BE PROVIDED. VERIFY CONTACT THE FENCE POSTS WITH AN ANGLE LUG ATTACHING TO POSTS.

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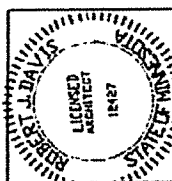
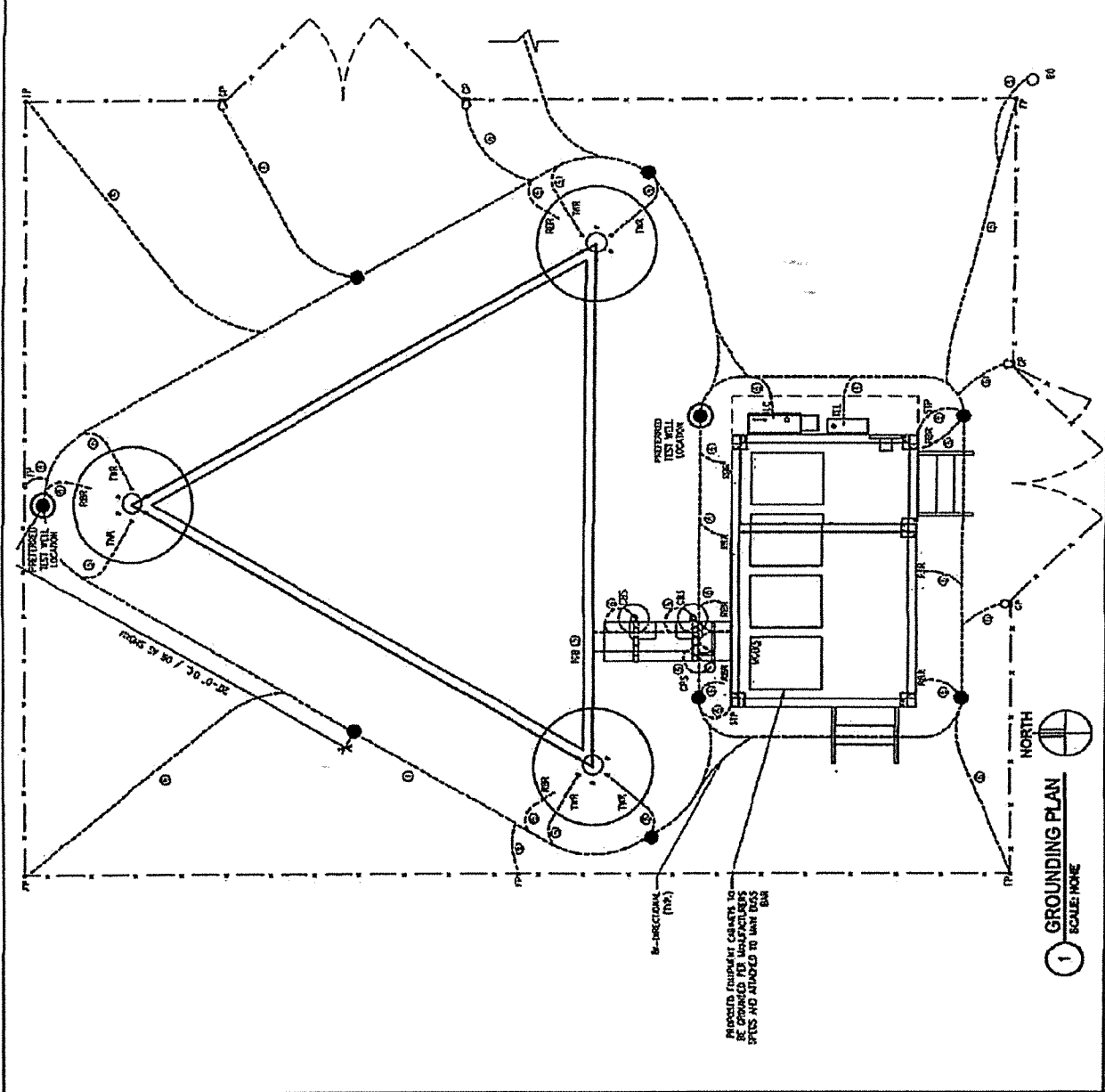
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GROUNDING DETAIL INDEX

DETAIL	DETAIL DESCRIPTION
PLATFORM	8'-0" x 14'-0" PLATFORM CANOPY GROUNDING ELEVATIONS
11.1	TEST WELL DETAIL GROUND BRID & ROD DETAIL
11.3	REBAR GROUNDING DETAIL
11.4	CONDUIT DETAIL
11.8	TYPICAL GROUNDING CABLE BRIDGE DETAIL
11.8	TYPICAL TOWER GROUNDING DETAIL



I hereby certify that this work was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

ROBERT J. DAVILA, P.E. No. 14127

03/21/14
Date



PROJECT
20151284928
LOC. CODE: 394395

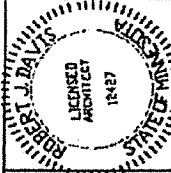
**MN08
MAGNOLIA**

**COUNTY ROAD 1
REDWOOD FALLS, MN
56283**

**SHEET CONTENTS:
GROUNDING PLAN
GROUNDING DETAIL INDEX**

DRAWN BY:	STACKER, E.
DATE:	02-25-14
CHECKED BY:	MURPHY, S.
REV. A:	12-28-13
REV. B:	12-29-13

G-2



Project No. 20151284828
Prepared by: [Signature]
Checked by: [Signature]
Designed by: [Signature]
Date: 03/24/16
Scale: AS SHOWN
PROJECT: [Signature]



PROJECT
20151284828
LOC. CODE: 394335

MN08
MAGNOLIA

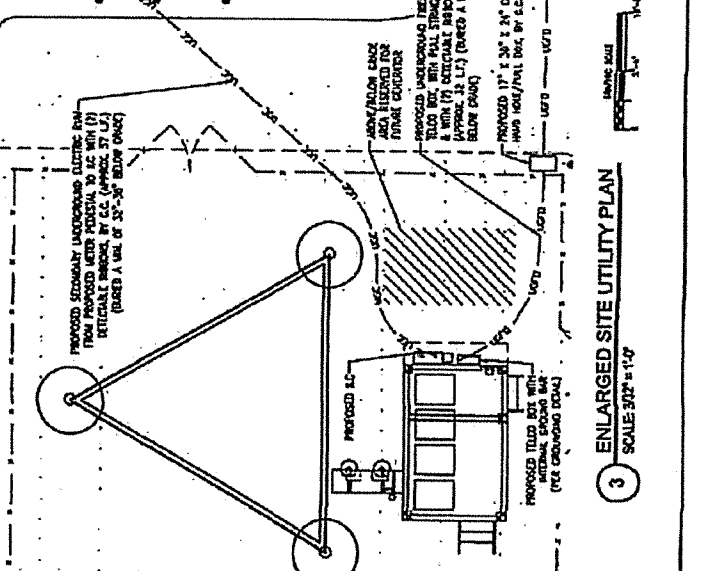
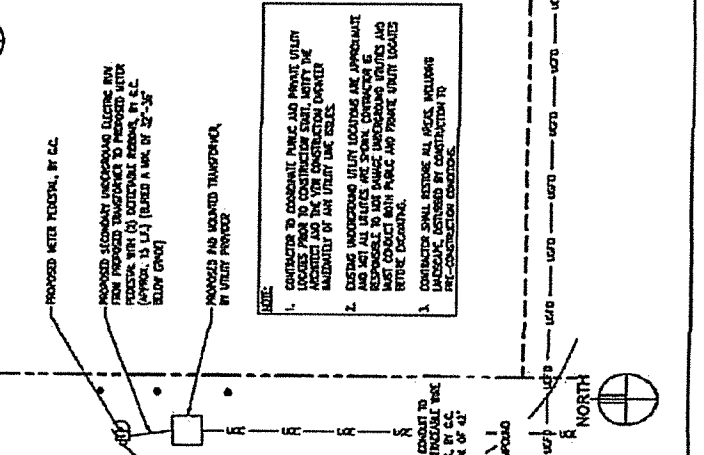
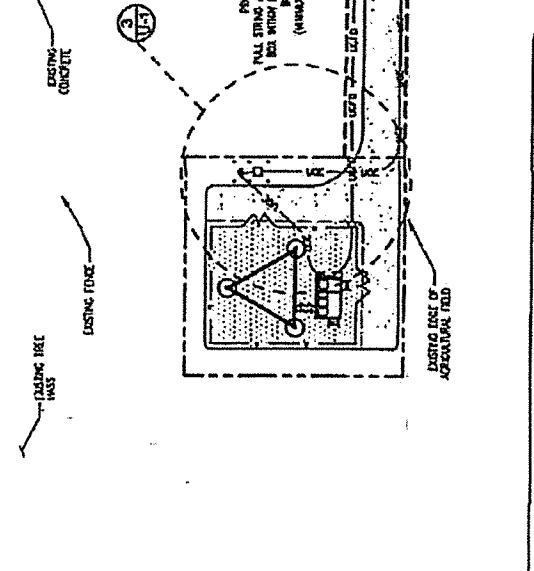
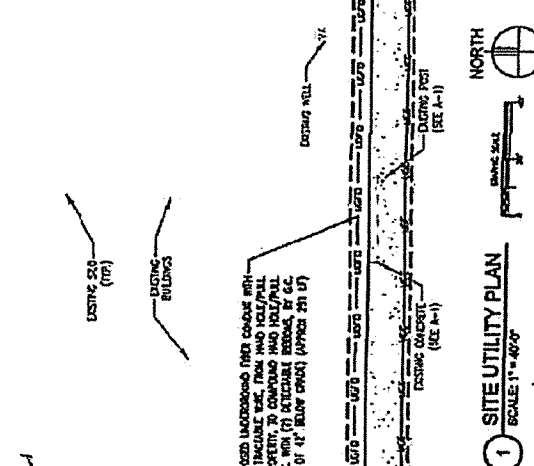
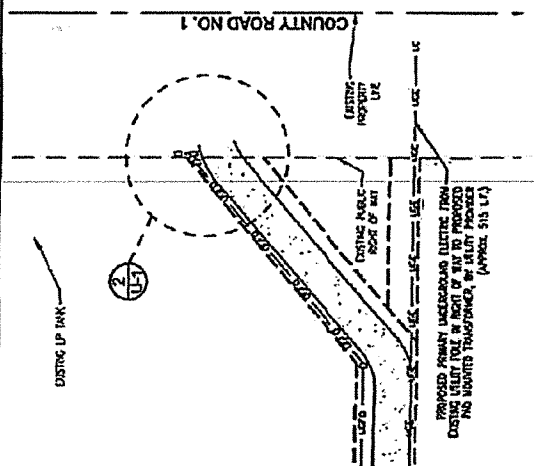
COUNTY ROAD 1
REDWOOD FALLS, MN
56283

SHEET CONTENTS:
SITE UTILITY PLAN
PULLBOX LOCATION PLAN

DATE:	03/24/16
DESIGNED BY:	DAVID R. B...
CHECKED BY:	DAVID R. B...
SCALE:	AS SHOWN

U-1

POWER TYPE:
120/240V, SINGLE
PHASE, 200 AMPERS



NOTE:
1. CONTRACTOR TO COORDINATE PUBLIC AND PRIVATE UTILITY LOCATIONS FROM TO CONSTRUCTION SHEET. VERIFY THE ACCURACY OF ALL UTILITY LINE MARKS AND LOCATIONS. CONTRACTOR TO VERIFY THE ACCURACY OF ALL UTILITY LINE MARKS BEFORE BEGINNING ANY CONSTRUCTION.
2. EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY THE ACCURACY OF ALL UTILITY LINE MARKS BEFORE BEGINNING ANY CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES MARKED BY CONSTRUCTION TO PRE-CONSTRUCTION CONDITIONS.

PROPOSED 17' x 30' x 24' 1/2' CONCRETE PULL BOX, BY E.C.
PROPOSED 17' x 30' x 24' 1/2' CONCRETE PULL BOX, BY E.C.
PROPOSED 17' x 30' x 24' 1/2' CONCRETE PULL BOX, BY E.C.

PROPOSED 17' x 30' x 24' 1/2' CONCRETE PULL BOX, BY E.C.
PROPOSED 17' x 30' x 24' 1/2' CONCRETE PULL BOX, BY E.C.

1 SITE UTILITY PLAN
SCALE: 1" = 40'-0"

2 PULLBOX LOCATION PLAN
SCALE: 3/32" = 1'-0"

3 ENLARGED SITE UTILITY PLAN
SCALE: 3/32" = 1'-0"

SITE SURVEY

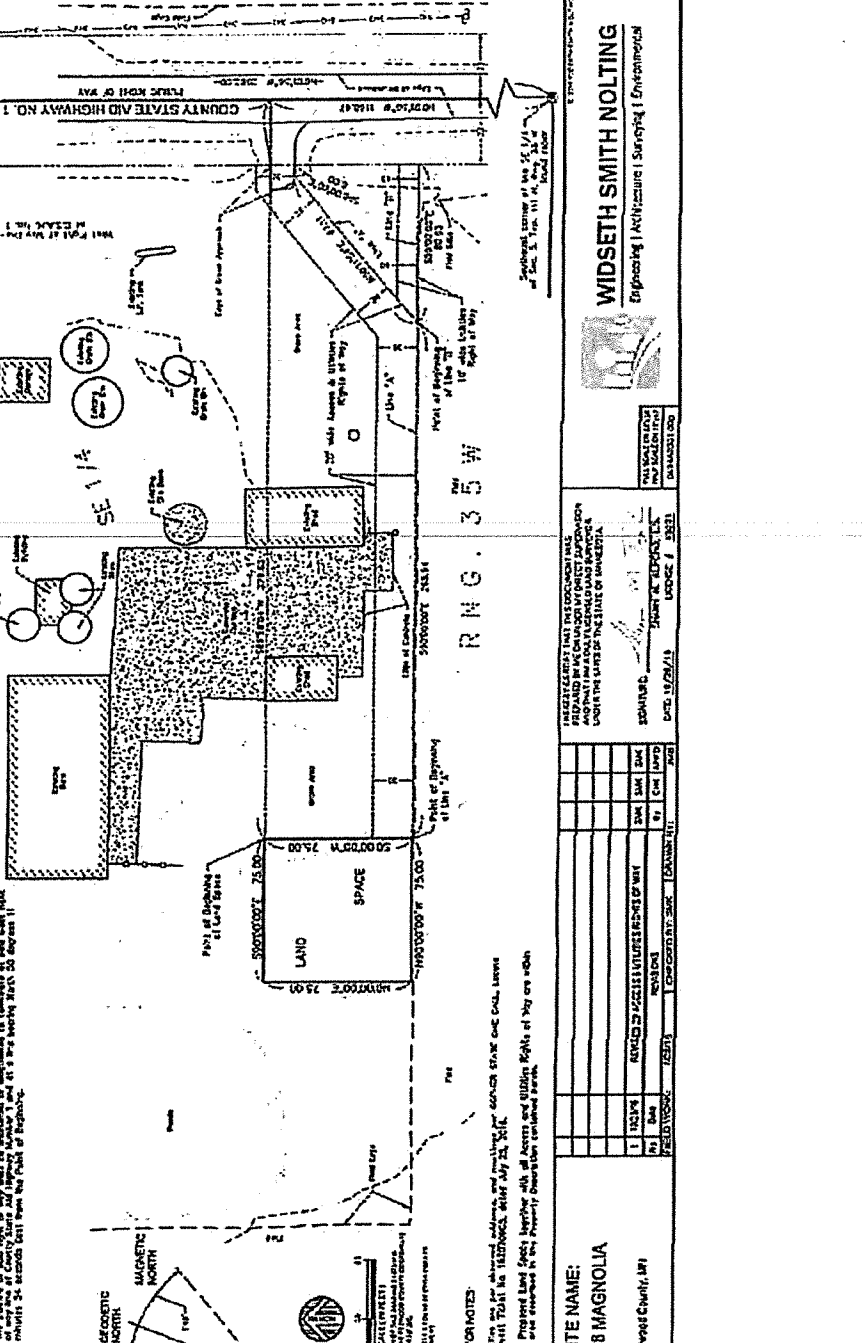
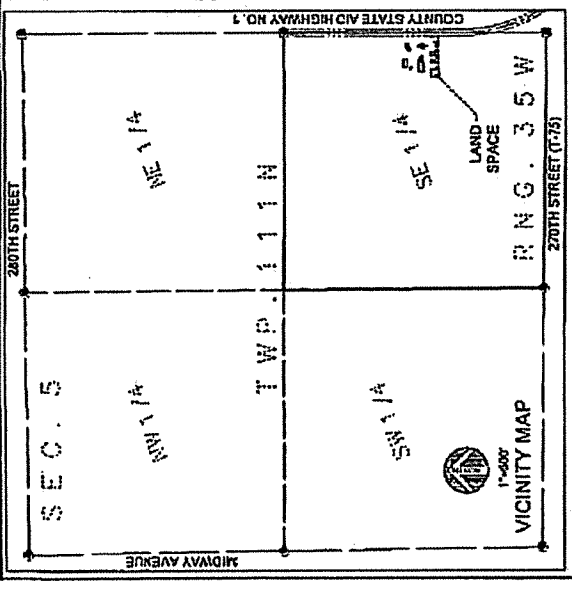
LEGEND

- LAND SPACE DESCRIPTION**
- CONCRETE SURFACE
 - GRAVEL SURFACE
 - BITUMEN WALL PATCH
 - LAND BRUCE
 - SUBMITTANCE
 - BOUNDARY LINE
 - QUARTERLINE
 - CONCRETE SURFACE

- UTILITIES**
- TELEPHONE
 - ELECTRIC POLE
 - ELECTRIC LIGHT POLE
 - ELECTRIC METER
 - TELEPHONE
 - ELECTRIC POLE
 - ELECTRIC LIGHT POLE
 - ELECTRIC METER
 - TELEPHONE

- VEGETATION**
- FOREST
 - GRASS
 - WOODS

LAND SPACE DESCRIPTION:
That part of the Section 5, Township 11 North, Range 35 West, of the 7th Principal Meridian, Pelican County, Minnesota, described as follows:
Commencing at the southeast corner of the 1/4 section 5, Township 11 North, Range 35 West, of the 7th Principal Meridian, Pelican County, Minnesota, and running North 0 degrees 00' 00" East 163.27 feet to the northeast corner of the 1/4 section 5, Township 11 North, Range 35 West, of the 7th Principal Meridian, Pelican County, Minnesota; thence South 89 degrees 59' 59" West 163.27 feet to the southwest corner of the 1/4 section 5, Township 11 North, Range 35 West, of the 7th Principal Meridian, Pelican County, Minnesota; thence South 0 degrees 00' 00" East 163.27 feet to the southeast corner of the 1/4 section 5, Township 11 North, Range 35 West, of the 7th Principal Meridian, Pelican County, Minnesota; thence North 0 degrees 00' 00" East 163.27 feet to the northeast corner of the 1/4 section 5, Township 11 North, Range 35 West, of the 7th Principal Meridian, Pelican County, Minnesota.



UTILITIES:
The utility of said road is to be constructed or improved to terminate at east-west right-of-way line of County State Aid Highway Number 1 and at 5th Street which is 25 feet from the north side of the road.

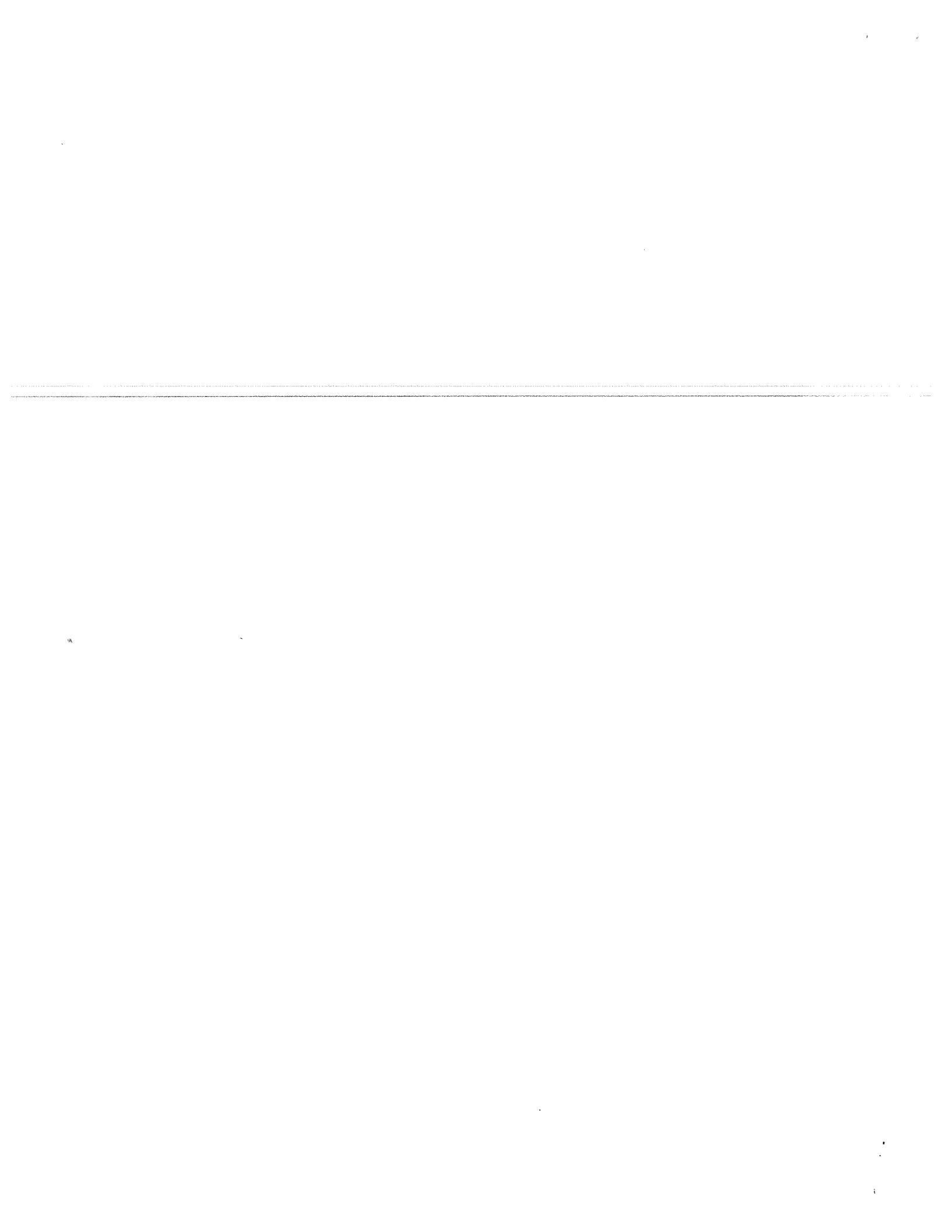
- SCHEDULE 'B' CONTAINS:**
1. All information required for the preparation of this plat.
2. All information required for the preparation of this plat, including but not limited to:
a. The location of the proposed road.
b. The location of the proposed utilities.
c. The location of the proposed easements.

WIDSETH SMITH NOLTING
Engineering | Architecture | Surveying | Environmental

NO.	DATE	DESCRIPTION	BY	CHKD.
1	11/21/24	REVISED TO REFLECT UTILITY RIGHTS OF WAY	SEAN W. SMITH	SEAN W. SMITH
2	11/21/24	REVISED TO REFLECT UTILITY RIGHTS OF WAY	SEAN W. SMITH	SEAN W. SMITH
3	11/21/24	REVISED TO REFLECT UTILITY RIGHTS OF WAY	SEAN W. SMITH	SEAN W. SMITH

SITE NAME:		MNOB MAGNOLIA	
PROJECT NO.:		2024-001	
DATE OF SURVEY:		NOVEMBER 15, 2024	
SCALE:		AS SHOWN	

DESIGN 1



Verizon Wireless

SITE PLAN

- TABLE OF CONTENTS -

- 1. OBJECTIVES AND BENEFITS**

- 2. SITE MAP**

- 3. SITE SKETCH**

- 4. TYPICAL PHOTO**

- 5. ABOUT VERIZON WIRELESS**

Verizon Wireless

**Redwood County Zoning
Redwood Falls, Minnesota**

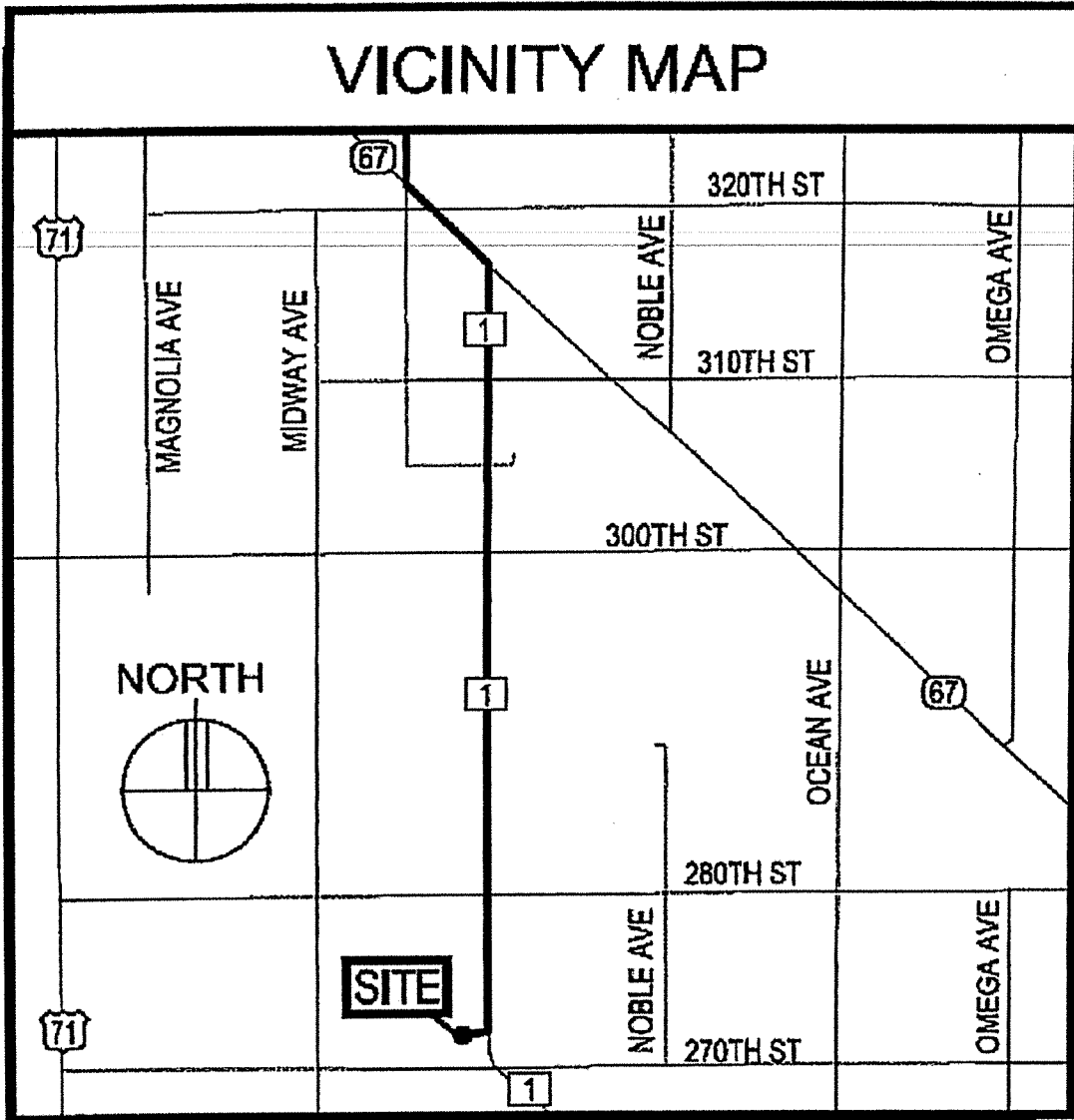
OBJECTIVES:

Verizon Wireless desires to improve their level of service in the Redwood County area. This proposed cellular tower will enhance their already established network in Minnesota. This site will provide a clearer, stronger and more reliable signal for Verizon Wireless customers in Redwood County as well as other wireless users along surrounding roads.

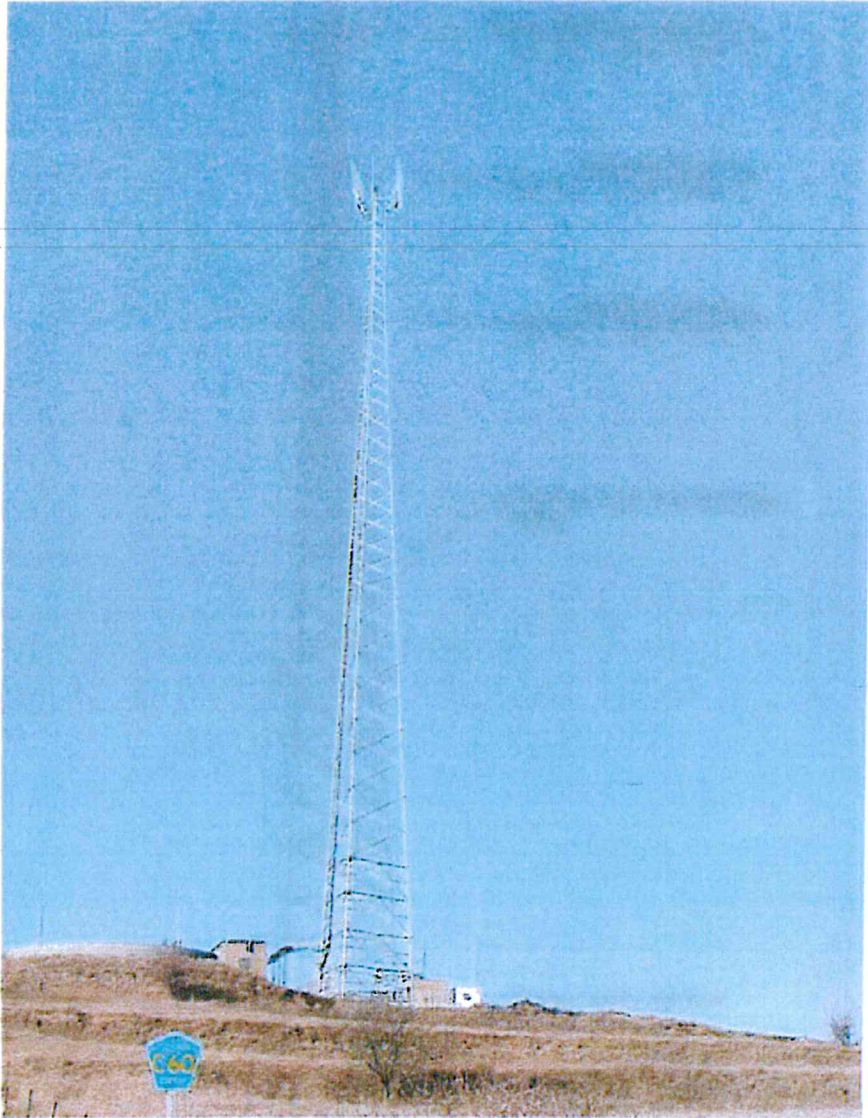
**BENEFITS TO THE
COMMUNITY:**

- Improved cellular reception and expanded service area.
- Probable source of communications at time of natural disaster.
- Communications link for personal safety and roadside emergencies.
- Available for expansion into future technology with wireless communications industry & 911 interface capability.
- Site will be made available for collocation with other wireless carriers
- A location for the site that is of minimal visual impact to the community

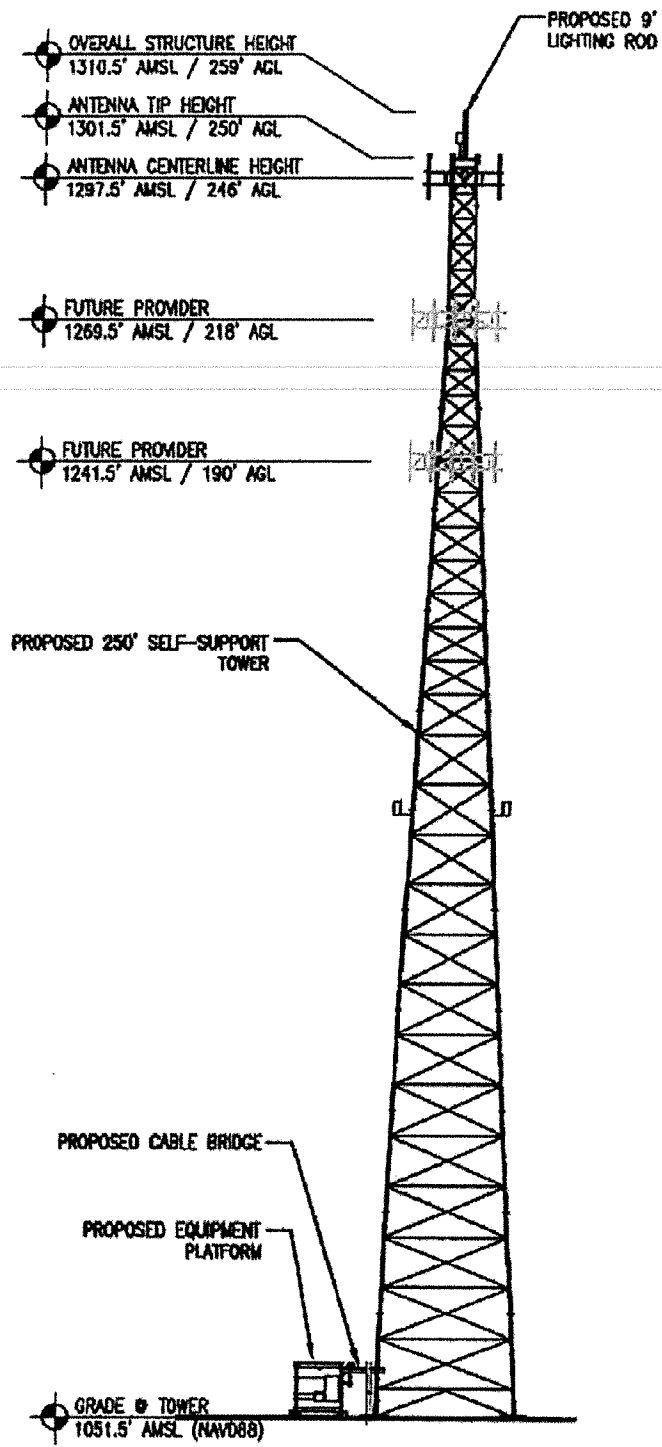
SITE MAP



TYPICAL SELF-SUPPORT



250' tall tower with ground equipment, driveway and fencing



NOTE: FENCE NOT SHOWN FOR CLARITY

1

EAST ELEVATION

SCALE: 1" = 40'



ABOUT VERIZON WIRELESS

Verizon At A Glance

Our network is built to deliver the most reliable coverage across the country.

As our customers add more devices and find more ways to use them, we're constantly increasing the density of our network. In 2015, we invested more than \$11 billion to meet today's surging demand for wireless data and video, but also to get our network ready for 5G wireless technology. Our commitment to network excellence has kept us at the top of RootMetrics® U.S. National RootScore® report rankings of wireless carriers in overall, reliability, data and call performance for six straight reports and speed for five straight reports.*

*Rankings based on the RootMetrics US National RootScore Report: 1H 2016. Tested with best commercially available smartphones on four national mobile networks across all available network types. Your experiences may vary. The RootMetrics award is not an endorsement of Verizon. Visit www.rootmetrics.com for more details.

U.S. coverage

98%

wireless network coverage

Network investment

\$11B

invested since 2000

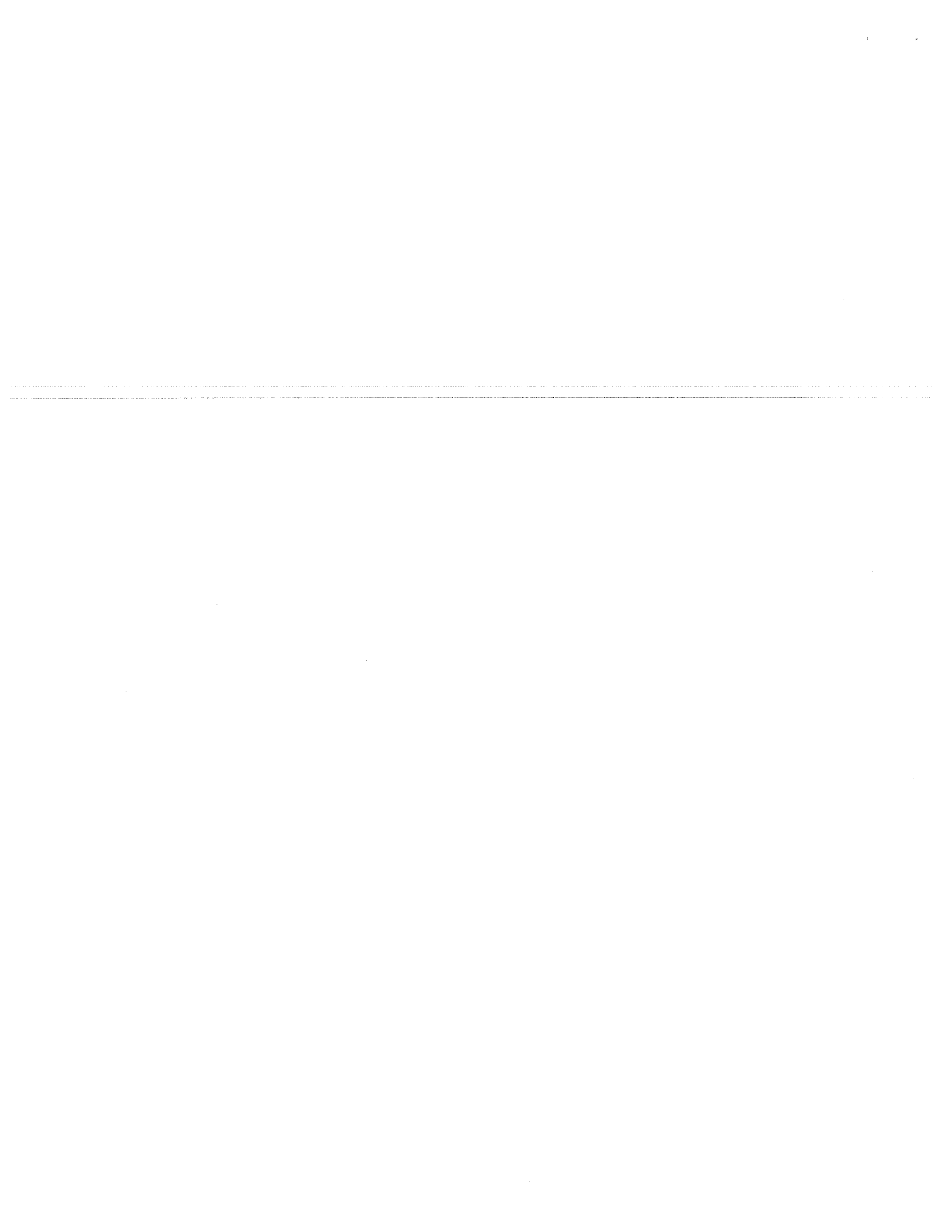
LTE network coverage

2.3M

square miles

Get ready for 5G.

#	Common Name	Radio Service	Tags	Frequency Band (MHz)	License/License Name	Market	FIL Serv/License ID
1	Verizon Wireless	700 MHz	Broadband; Fixed Wireless; Mobile Radio; Phone; Television	746 - 757	Cellco Partnership	REA003 - Great Lakes	WQJQ691
2	Verizon Wireless	AWS-1	Broadband; Fixed Wireless; Phone	776 - 787 1745 - 1755 2145 - 2155	Cellco Partnership	REA003 - Great Lakes	WQJQ691
3	Verizon Wireless	AWS-1	Broadband; Fixed Wireless; Phone	1740 - 1745 2140 - 2145	Cellco Partnership	REA003 - Great Lakes	WQJQ691
4	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1890 - 1895 1970 - 1975	Midwest Wireless Communications, L.L.C.	BTA277 - Mankato-Fairmont, MN	WQJQ691
5	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1895 - 1910 1975 - 1990	Midwest Wireless Communications, L.L.C.	BTA464 - Watertown, SD	WQJQ691
6	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1895 - 1910 1975 - 1990	Midwest Wireless Communications, L.L.C.	BTA477 - Wilmar-Marshall, MN	WQJQ691
7	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1895 - 1910 1975 - 1990	Midwest Wireless Communications, L.L.C.	BTA477 - Wilmar-Marshall, MN	WQJQ691
8	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1865 - 1870 1945 - 1950	Verizon Wireless (NAV) LLC	BTA477 - Wilmar-Marshall, MN	WQJQ691
9	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1865 - 1870 1945 - 1950	Verizon Wireless (NAV) LLC	BTA477 - Wilmar-Marshall, MN	WQJQ691
10	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1885 - 1890 1965 - 1970	WWC Holding Co., Inc.	BTA277 - Mankato-Fairmont, MN	WQJQ691
11	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1865 - 1870 1945 - 1950	WWC Holding Co., Inc.	BTA464 - Watertown, SD	WQJQ691
12	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1885 - 1890 1965 - 1970	WWC Holding Co., Inc.	BTA477 - Wilmar-Marshall, MN	WQJQ691
13	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1885 - 1890 1965 - 1970	WWC Holding Co., Inc.	BTA477 - Wilmar-Marshall, MN	WQJQ691
14	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1870 - 1885 1950 - 1965	WWC Holding Co., Inc.	ATA012 - Minneapolis-St Paul	WQJQ691
15	Verizon Wireless	Broadband PCS	Broadband; Fixed Wireless; Mobile Radio; Phone	1870 - 1885 1950 - 1965	WWC Holding Co., Inc.	ATA012 - Minneapolis-St Paul	WQJQ691
16	Verizon Wireless	Cellular	Broadband; Fixed Wireless; Mobile Radio; Phone	830 - 835 845 - 850 891.5 - 894	Midwest Wireless Communications, L.L.C.	CWA489 - Minnesota B - Lacqui Parle	WQJQ691





Verizon Wireless
10801 Bush Lake Road
Bloomington, MN 55438

December 12, 2016

Redwood County
Planning Department
403 S. Mill Street
Redwood Falls, MN 56283

Re: Verizon Wireless Conditional Use Permit Application, 27246 County Highway 1.

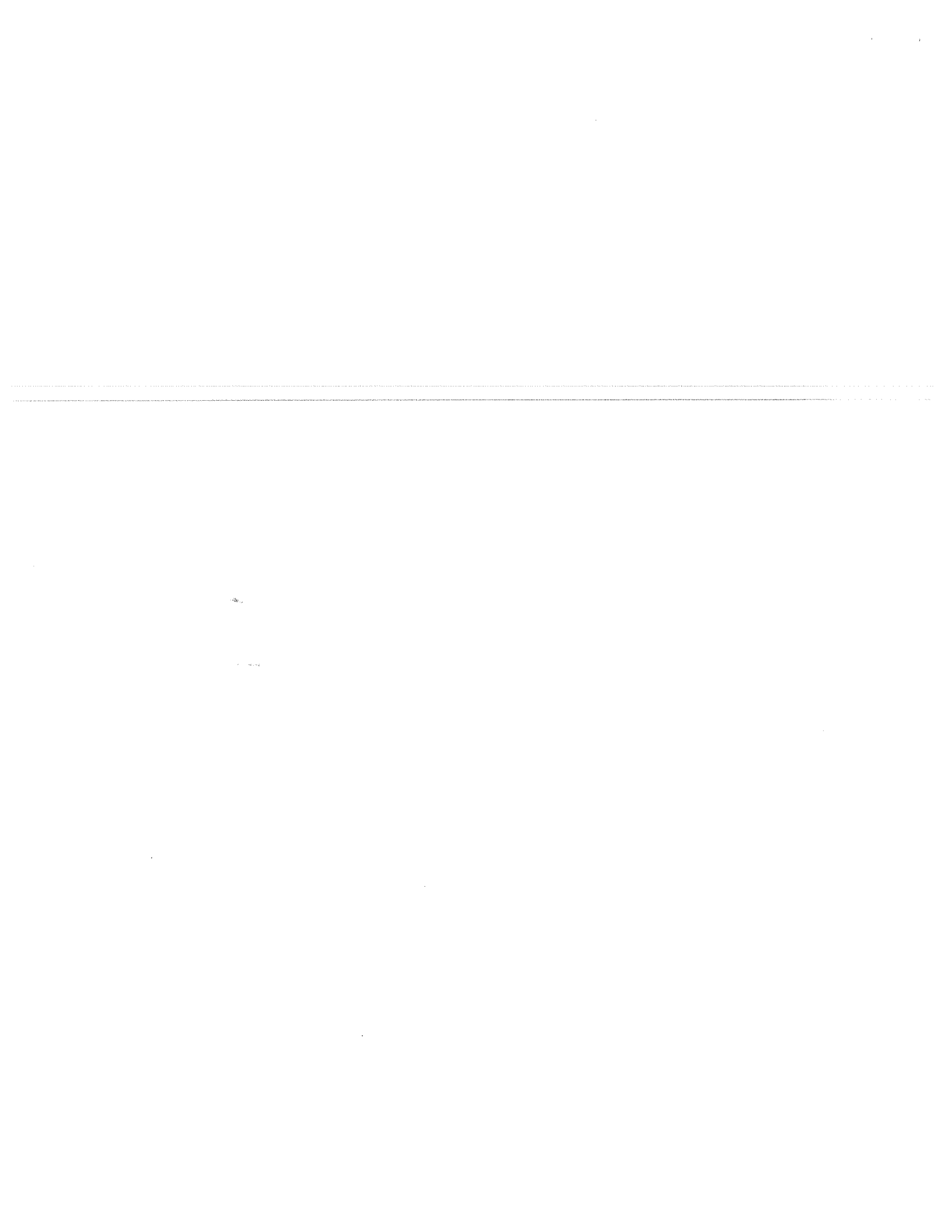
Planning Department,

Verizon Wireless, and its successors, hereby agree to allow shared use of the proposed tower if an additional user agrees in writing to meet reasonable terms and conditions for shared use, so long as there is no negative structural impact upon the tower and there is no disruption to the service provided.

Cordially,

A handwritten signature in black ink, appearing to read "Katie Poser".

Katie Poser
Real Estate Manager





Duell Consulting, Inc.
2897 Lake Vista Drive NW
Rochester, MN 55901
(507) 951-7151
curt.walter10@gmail.com
*Site Acquisition
Permitting
Established 1991*

December 12, 2016

Redwood County
Planning Department
403 S. Mill Street
Redwood Falls, MN 56283

Re: Verizon Wireless CUP Application, 27246 County Highway 1.

Planning Department,

Verizon Wireless would like to construct a 250' tall self-support tower (259' overall height) on property owned by Lester Schultz located at 27246 County Highway 1, in the SE ¼ of Section 5, T 111 N, R 35 W, Redwood County (parcel #69-005-4020).

This facility is needed to help with capacity in the area and offload traffic from the nearest VZW facilities. Since more wireless usage is in the form of data and streaming, this facility is needed to help service in the homes and business of residents in this area. This specific location was chosen because the owner was willing to lease to VZW, the location did not remove any crop land from production and was not in or near a flood plain or wetland area. This location is also screened on 2 sides (north & west) by an existing tree line. It is partially screened on the east by existing farm buildings.

Verizon Wireless would be installing the 250' tall self-support tower (259' overall height), along with approved ground equipment and fencing. There are no other existing structures to accommodate VZW antennas within 4 miles of the proposed facility. This installation will meet all of Section 20 Telecommunications Tower Management required by the existing zoning ordinance.

Enclosed with this letter are the following documents:

- Application for Conditional Use Permit with original landowner signatures;
- Check in the amount of \$700 for the CUP fee;
- 2 complete sets of drawings (site plans) from a qualified and licensed engineer;
- Property owner (Lessor): Lester Schultz, 507-644-5332
- Lessee: Verizon Wireless, 10801 Bush Lake Road, Bloomington, MN 55438, 507-951-7151;
- There are no public or private airports within 3 miles of the proposed site;
- There are no antenna support structures within 1 mile of the proposed site;
- The set of drawings shows that the tower will be designed to accommodate 2 additional carriers with similar antenna equipment. A statement from the tower manufacturer can be provided once the tower has been ordered and built;
- Once the tower is built the tower manufacturer can provide a sworn statement that the tower is structurally sound and conforms to the MN Building Code and all other construction standards set forth by the County, Federal and State law.
- Copy of Verizon Wireless FCC licenses for Redwood County;
- Letter of Intent to allow shared use of the tower;

Please review and let me know if there is any additional information required. I look forward to working with you on this project.

Cordially,
Curt Walter
Curt Walter
952-314-4957 (fax)

Verizon Wireless

Zoning package

for

Redwood County Zoning

Redwood Falls, Minnesota

Prepared by

**Curt Walter
Buell Consulting**

December 12, 2016

Prepared by and upon recording
Please return to:

Ginsberg Jacobs LLC
300 South Wacker Drive
Suite 2750
Chicago, Illinois 60606
Attn: Steven F. Ginsberg, Esq.
(Site Name: MN08 Magnolia)

MEMORANDUM OF LAND LEASE AGREEMENT

This Memorandum of LAND LEASE AGREEMENT is made this 20th day of March, 2017, by and between Lester W. Schultz, Life Estate; and Sandra M. Smith, Brenda K. Vick, Sonya K. Johnson and Leslie L. Reese, Tenants in Common, as remaindermen and Alltel Communications, LLC d/b/a Verizon Wireless, with its principal office located at One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 (telephone number 866-862-4404), hereinafter designated LESSEE. The LESSOR and LESSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party".

1. LESSOR and LESSEE entered into a Land Lease Agreement (the "Agreement") on 3/20, 2017 for an initial term of five (5) years, commencing on the Commencement Date, as defined in the Agreement. The Agreement shall automatically be extended for four (4) additional five (5) year terms unless the LESSEE terminates it at the end of the then current term by giving the LESSOR written notice of the intent to terminate at least six (6) months prior to the end of the then current term. If at the end of the fourth (4th) five (5) year extension term the Agreement has not been terminated by either Party by giving to the other written notice of an intention to terminate it at least six (6) months prior to the end of such term, this Agreement shall continue in force upon the same covenants, terms and conditions for a further term of five (5) years and for five (5) year terms thereafter until terminated by either Party by giving to the other written notice of its intention to so terminate at least six (6) months prior to the end of such term.
2. In accordance with this Agreement, LESSOR hereby grants to LESSEE the right to install, maintain and operate communications equipment ("Use") upon the Premises (as hereinafter defined), which are a part of that real property owned, leased or controlled by LESSOR at 27246 Co Hwy 1, Redwood Falls, MN 56283 (the "Property"). The Property and Premises, as defined herein, are legally described on Exhibit "A" attached hereto and made a part hereof. The Premises are a portion of the Property and are approximately 5,625 square feet 75' x 75', and are shown in detail on Exhibit "B" attached hereto and made a part hereof. LESSEE may survey the Premises. Upon completion, the survey shall replace Exhibit "B" in its entirety.

LESSEE shall have the non-exclusive right of ingress and egress from a public right-of-way, 7 days a week, 24 hours a day, over the Property to and from the Premises for the purpose of installation, operation and maintenance of LESSEE's communications equipment over or along a twenty foot wide right-of-way ("Easement"), which shall be depicted on Exhibit "B". LESSEE may use the Easement for the installation, operation and maintenance of wires, cables, conduits and pipes for all necessary electrical, telephone, fiber and other similar support services. In the event it is necessary, LESSOR agrees to grant LESSEE or the provider the right to install such services on, through, over and/or under the Property, provided the location of such services shall be reasonably approved by LESSOR.

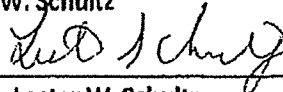
3. LESSEE has the right of first refusal to purchase the Premises during the initial term and all renewal terms of the Agreement.
4. The terms, covenants and provisions of the Agreement, the terms of which are hereby incorporated by reference into this Memorandum, shall extend to and be binding upon the respective executors, administrators, heirs, successors and assigns of LESSOR and LESSEE.

[Signature Page Follows]

IN WITNESS WHEREOF, hereunto and to a duplicate hereof, LESSOR and LESSEE have caused this Memorandum to be duly executed on the date first written hereinabove.

LESSOR:

Lester W. Schultz

By: 

Lester W. Schultz

Date: 1-23-2017

(LESSOR signature page number 1 of 5)

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

LESSOR:

Sandra M. Smith

By: Sandra M. Smith
Sandra M. Smith

Date: 2-21-17

(LESSOR signature page number 2 of 5)

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

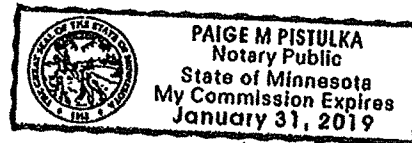
LESSOR:

Brenda K. Vick

By: Brenda K. Vick

Brenda K. Vick

Date: 01/23/17



Paige M. Pistulka


(LESSOR signature page number 3 of 5)

Memorandum of Land Lease

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

LESSOR:

Sonya K. Johnson

By: 

Sonya K. Johnson

Date: 2/10/2017

(LESSOR signature page number 4 of 5)

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

LESSOR:

Leslie L. Reese

By: Leslie L. Reese

Leslie L. Reese

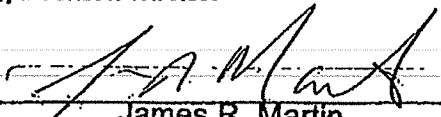
Date: 1-31-2017

(LESSOR signature page number 5 of 5)

IN WITNESS WHEREOF, hereunto and to a duplicate hereof, LESSOR and LESSEE have caused this Memorandum to be duly executed on the date first written hereinabove.

LESSEE:

Alltel Communications, LLC
d/b/a Verizon Wireless

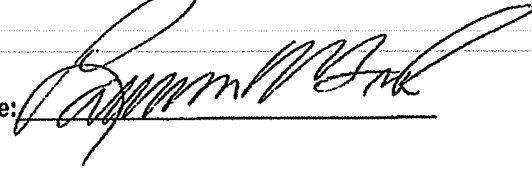
By: 
Name: James R. Martin
Its: Director - Network Field Engineering
Date: 3/6/15

STATE OF Minnesota)
) ss. LESSOR ACKNOWLEDGMENT
COUNTY OF Redwood)

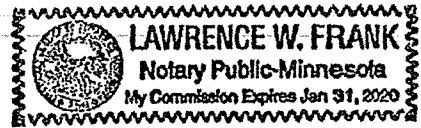
On Jan. 23, 2017 before me, personally appeared Lester W. Schultz, personally known to me (or proved to me on the basis of satisfactory evidence) to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities, and that by their signatures on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.

WITNESS my hand and official seal.

Signature: _____



[Seal]

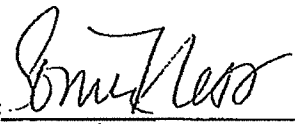


[Acknowledgments Continue on Following Page]

STATE OF South Dakota)
) ss. LESSOR ACKNOWLEDGMENT
COUNTY OF Minnehaha)

On February 21st, 2017 before me, Sandra Smith personally appeared Sandra M. Smith, personally known to me (or proved to me on the basis of satisfactory evidence) to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities, and that by their signatures on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.

WITNESS my hand and official seal.

Signature: 

[Seal]

my commission exp: 10-25-21

[Acknowledgments Continue on Following Page]

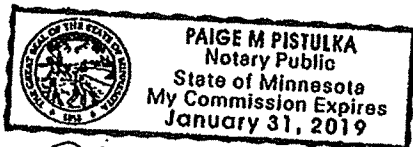
STATE OF Minnesota)
) ss. LESSOR ACKNOWLEDGMENT
COUNTY OF Redwood)

On Jan 19, 2017 before me, Paige M. Pistulka, personally appeared Brenda K. Vick, personally known to me (or proved to me on the basis of satisfactory evidence) to be the persons whose names are subscribed to the within Instrument and acknowledged to me that they executed the same in their authorized capacities, and that by their signatures on the Instrument the persons, or the entity upon behalf of which the persons acted, executed the Instrument.

WITNESS my hand and official seal.

Signature: *Brenda K. Vick*

[Seal]



Paige M. Pistulka

[Acknowledgments Continue on Following Page]

Memorandum of Land Lease

STATE OF Minnesota

)

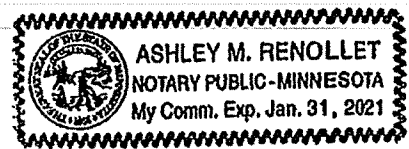
) ss. LESSOR ACKNOWLEDGMENT

COUNTY OF Becker)

On February 10, 2017 before me, personally appeared ^{Simon K. Johnson} Lester W. Schultz, personally known to me (or proved to me on the basis of satisfactory evidence) to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities, and that by their signatures on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.
WITNESS my hand and official seal.

Signature: [Handwritten Signature]

[Seal]



[Acknowledgments Continue on Following Page]

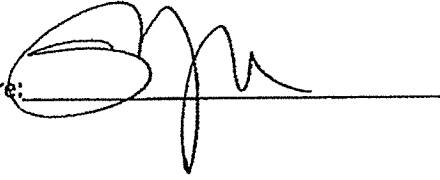
STATE OF Minnesota

COUNTY OF P. pertone

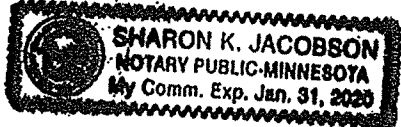
)
) ss. LESSOR ACKNOWLEDGMENT

On 1-31, 2017 before me, Leslie Reese personally appeared Leslie L. Reese, personally known to me (or proved to me on the basis of satisfactory evidence) to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities; and that by their signatures on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.

WITNESS my hand and official seal.

Signature: 

[Seal]



[Acknowledgments Continue on Following Page]

NOTARY ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which the certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF MINNESOTA

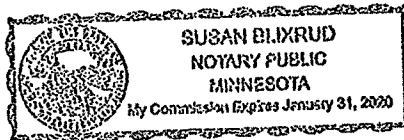
COUNTY OF HENNEPIN

On March 20, 2017 before me, Susan Blixrud a Notary Public, personally appeared James R. Martin who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of Minnesota that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Susan Blixrud
Signature of Notary Public



Place Notary Seal Above

EXHIBIT A

**[WRITTEN METES AND BOUNDS OF THE PROPERTY AND PREMISES
AND INGRESS/EGRESS AND UTILITY EASEMENT]**

Description of Property:

ALL THAT PARCEL OF LAND IN REDWOOD COUNTY, STATE OF MINNESOTA, AS MORE FULLY DESCRIBED IN DEED DOC # A333702, ID# 69-005-4020, BEING KNOWN AND DESIGNATED AS FOLLOWS:

THE SOUTHEAST QUARTER (SE1/4) OF SECTION FIVE (5), TOWNSHIP ONE HUNDRED ELEVEN (111) NORTH, RANGE THIRTY FIVE (35) WEST OF THE FIFTH PRINCIPAL MERIDIAN, RESERVING, HOWEVER, A LIFE ESTATE THEREIN IN FAVOR OF THE GRANTORS, OR THE SURVIVOR OF THEM, FOR AND DURING THE TERM OF THEIR NATURAL LIVES.

LAND SPACE DESCRIPTION:

That part of the Southeast Quarter of Section 5, Township 111 North, Range 35 West of the Fifth Principal Meridian, Redwood County, Minnesota, described as follows:

Commencing at the southeast corner of said Southeast Quarter; thence North 0 degrees 01 minutes 56 seconds West along the East line of said Southeast Quarter, a distance of 1168.47 feet; thence South 89 degrees 58 minutes 04 seconds West, a distance of 379.53 feet to the Point of Beginning of the land space to be described; thence South 0 degrees 00 minutes 00 seconds West, a distance of 75.00 feet; thence North 90 degrees 00 minutes 00 seconds West, a distance of 75.00 feet; thence North 0 degrees 00 minutes 00 seconds East, a distance of 75.00 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 75.00 feet to the Point of Beginning.

ACCESS AND UTILITIES RIGHTS OF WAY DESCRIPTION:

A 20.00 foot wide right of way for ingress, egress and utility purposes over, under and across the Southeast Quarter of Section 5, Township 111 North, Range 35 West of the Fifth Principal Meridian, Redwood County, Minnesota, lying between 0.00 feet and 20.00 feet to the left of the following described Line "A":

Commencing at the southeast corner of said Southeast Quarter; thence North 0 degrees 01 minutes 56 seconds West along the East of said Southeast Quarter, a distance of 1168.47 feet; thence South 89 degrees 58 minutes 04 seconds West, a distance of 379.53 feet; thence South 0 degrees 00 minutes 00 seconds West, a distance of 75.00 feet to the Point of Beginning of said Line "A"; thence South 90 degrees 00 minutes 00 seconds East, a distance of 265.94 feet; thence North 50 degrees 11 minutes 54 seconds East, a distance of 97.11 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 6.00 feet to the west right of way line of County State Aid Highway Number 1 and said Line "A" there terminating.

The sideline of said right of way shall be shortened or lengthened to terminate at said west right of way line of County State Aid Highway Number 1.

UTILITIES RIGHT OF WAY DESCRIPTION:

A 10.00 foot wide right of way for ingress, egress and utility purposes over, under and across the Southeast Quarter of Section 5, Township 111 North, Range 35 West of the Fifth Principal Meridian, Redwood County, Minnesota, lying between 0.00 feet and 10.00 feet to the left of the following described Line "B":

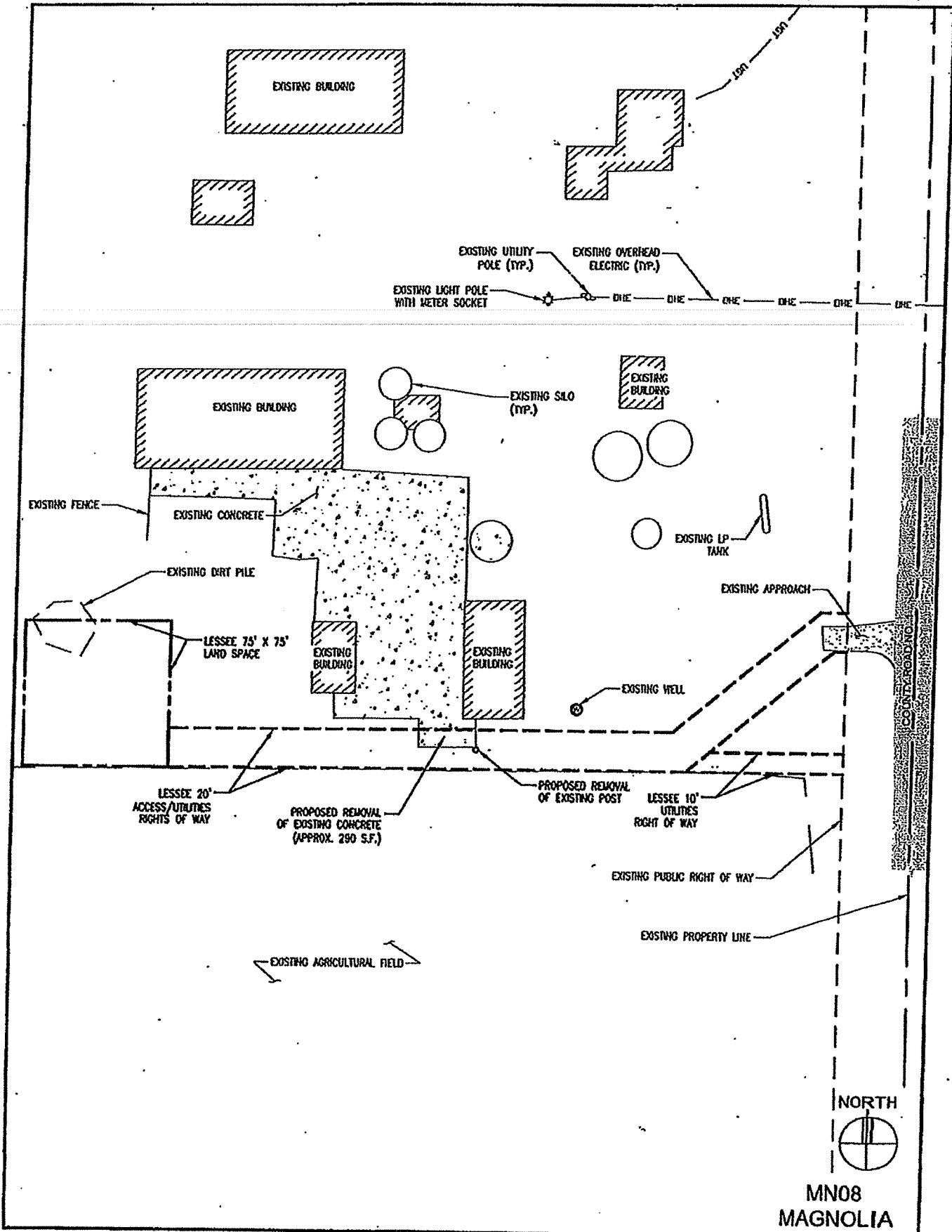
Commencing at the southeast corner of said Southeast Quarter; thence North 0 degrees 01 minutes 56 seconds West along the East line of said Southeast Quarter, a distance of 1168.47 feet; thence South 89 degrees 58 minutes 04 seconds West, a distance of 75.00 feet; thence South 90 degrees 00 minutes 00 seconds East, a distance of 265.94 feet to the Point of Beginning of said Line "B"; thence continue South 90 degrees 00 minutes 00 seconds East, a distance of 80.63 feet to the west right of way line of County State Aid Highway Number 1 and said Line "B" there terminating.

The sideline of said right of way shall be shortened or lengthened to terminate at said west right of way line of County State Aid Highway Number 1 and at the line bearing North 50 degrees 11 minutes 54 seconds East from the Point of Beginning.

EXHIBIT B

**[BOUNDARY SURVEY OF THE PREMISES
AND INGRESS/EGRESS AND UTILITY EASEMENT]**

(see attached)



Conditions for Permit No. 3-19 (Verizon – self supporting communications tower – Lester Schultz site)

1. The permit holder shall comply with all applicable laws, rules, and regulations, including but not limited to Redwood County Ordinance, as hereafter amended from time to time.
2. The permit holder shall allow the Redwood County Environmental Office to inspect the site(s) of the project for all purposes permitted by law whenever deemed necessary by the Redwood County Environmental Office.
3. The construction, maintenance, operation, and decommissioning of the project will conform to the Application for a Conditional Use Permit submitted by Curt Walter of Buell Consulting, Inc. as attached to the Conditional Use Permit.
4. The permit holder shall contact all relevant local, state, and federal authorities/entities and inquire as to whether a permit and/or license is required. If a permit and/or license is required, the permit holder shall apply for and obtain any and all required permits and/or licenses. A copy of all such permits and/or licenses shall be provided to the Redwood County Environmental Office upon request.
5. The permit holder shall take appropriate and reasonable measures to assure that all surface water runoff satisfies all applicable local, state, and federal discharge standards. Any drainage tile damaged during construction shall be repaired and/or replaced by the permit holder.
6. A 359 foot setback (tower height, including lightning rod, plus 100 feet) shall be maintained between the communications tower and the right-of-way of the public road (CSAH 1).
7. The permit holder shall not allow the conditional use to be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted. The permit holder shall not allow the conditional use to impede the normal and orderly development and improvement of surrounding vacant property for uses predominant to the area.
8. The permit holder is responsible for the control of all noxious weeds on the permitted site.
9. Adequate utilities, access roads, drainage, and other necessary facilities will be provided and continue to be provided by the permit holder now and in the future.
10. Applicant, or permit holder, as used in this Conditional Use Permit to refer to Verizon, shall also include its successors and assigns.
11. The Redwood County Planning Commission shall review the conditional use permit and shall be authorized to take any and all necessary action(s), including but not

limited to revoking the conditional use permit and/or requiring the permit holder to reapply for a conditional use permit, if: 1) The Redwood County Environmental Office acquires information previously unavailable that indicates the terms and conditions of the permit do not accurately represent the actual circumstances of the permitted facility or the conditional use; 2) It is discovered subsequent to the issuance of the permit the permit holder failed to disclose all facts relevant to the issuance of the permit or submitted false or misleading information to the Redwood County Environmental Office, the Redwood County Planning Commission, or the Redwood County Board of Commissioners; 3) The Redwood County Environmental Office determines the permitted facility or conditional use endangers human health or the environment; and/or (4) The permit holder violates any of the herein described conditions.

12. The permit holder shall provide the following documents:
1. Sworn affidavit signed by the landowner consenting to construction of the tower.
 2. A report from a licensed engineer that describes the tower's capacity, including the number and type of antenna that it can accommodate.
 3. A sworn and certified statement by an engineer certifying that the tower is structurally sound and conforms to the requirements of the Minnesota Building Code and all other construction standards set forth by the County, Federal, and State law.



REDWOOD COUNTY ENVIRONMENTAL OFFICE

PO BOX 130
REDWOOD FALLS
MINNESOTA 56283
PH: 507-637-4023

*Planning & Zoning • Parks & Trails • GIS
Aquatic Invasive Species • Septic Inspector
Drainage Inspector • Agricultural Inspector*

**REDWOOD COUNTY PLANNING COMMISSION
Verizon Cell Tower – Lester Schultz site
Conditional Use Permit Application #3-19
April 8, 2019**

FINDINGS OF FACT

ORDINANCE CRITERIA – The Planning Commission may recommend the granting of a Conditional Use Permit in any district provided the proposed use is listed as a conditional use for the district and upon a showing that the standards and criteria stated in this Ordinance will be satisfied and that the use is in harmony with the general purposes and intent of this Ordinance and the Comprehensive Plan.

In determining whether the proposed use is in harmony with the general purposes and intent of the Ordinance and the Comprehensive Plan, the Planning Commission shall consider and make findings on the following questions:

1) Will the proposed use have an adverse impact on the health, safety, and general welfare of the residents in the surrounding neighborhood?

Yes _____ No _____

Why?: _____

2) Has evidence been presented that shows the proposed use will cause material injury to the use and enjoyment of other property in the surrounding neighborhood for land uses that are already permitted?

Yes _____ No _____

Why?: _____

3) Will the proposed use have a substantial adverse effect on property values or future development of land in the surrounding neighborhood for uses common to the area?

Yes _____ No _____

Why?: _____

4) Are there, or will there be provided, adequate utilities, access roads, drainage, off-street parking and loading areas, and other necessary facilities to support the proposed use of the property?

Yes _____ No _____

Why?: _____

5) Have adequate measures been taken, or will adequate measures be taken, to prevent or control offensive odor, fumes, dust, noise, lights, and vibration, so that no disturbance to neighboring properties will result?

Yes _____ No _____

Why?: _____

6) Is the proposed use of the property consistent with the general purpose and intent of the Zoning Ordinance and the goals and policies adopted in the Comprehensive Plan?


Yes _____ No _____

Why?: _____

NAME: _____

DATE: _____

TO: Whom It May Concern

FROM: Nick Brozek 
Land Use and Zoning Supervisor
Redwood County Environmental Office

COPY



DATE: March 25th, 2019

RE: Notice of Public Hearing on Application for Conditional Use Permit

Please find enclosed a *Notice of Public Hearing* regarding an *Application for Conditional Use Permit* submitted by Donovan McCain for Verizon Wireless o/b/o landowner Lester Schultz pursuant to Redwood County Code of Ordinances Sections 153.381 & 153.446. Verizon Wireless is proposing to construct a 250 foot self-supporting telecommunications tower (259 foot overall height including lightning rod) on the following described property, situated in the County of Redwood, State of Minnesota, to wit:

The Southeast Quarter (SE1/4) of Section 5, Township 111 North, Range 35 West, Three Lakes Township.

Pursuant to Redwood County Zoning Ordinance, all property owners of record within five hundred (500) feet of the incorporated areas and/or one-quarter (1/4) of a mile of the affected property or the ten (10) properties nearest to the affected property, whichever would provide notice to the greatest number of landowners in the unincorporated areas, the township in which the affected property is located, and all municipalities within two (2) miles of the property are required to be notified in writing of the time and place of the public hearing.

If you have any comments or questions regarding this matter, please contact the Redwood County Environmental Office and/or attend the public hearing at the time and date set forth in the *Notice of Public Hearing*.

enclosure

Cc: Donovan McCain
Lester Schultz



NOTICE OF PUBLIC HEARING

An *Application for Conditional Use Permit* has been filed by Donovan McCain for Verizon Wireless o/b/o landowner Lester Schultz pursuant to Redwood County Code of Ordinances Sections 153.381 & 153.446. Verizon Wireless is proposing to construct a 250 foot self-supporting telecommunications tower (259 foot overall height including lightning rod) on the following described property, situated in the County of Redwood, State of Minnesota, to wit:

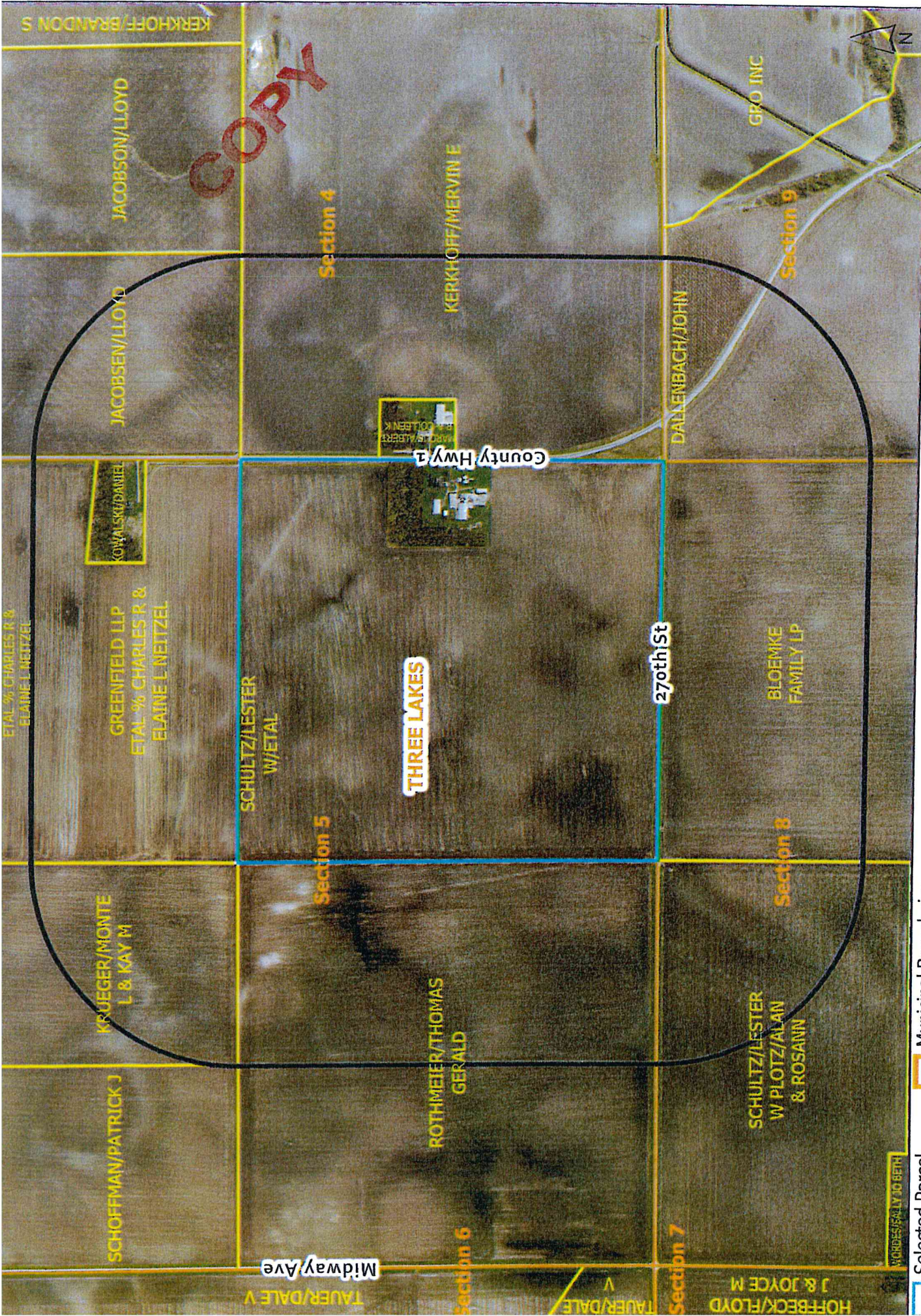
The Southeast Quarter (SE1/4) of Section 5, Township 111 North, Range 35 West, Three Lakes Township.

A public hearing thereon will be held before the Redwood County Planning Commission at the Planning Commission meeting scheduled at 1:00 o'clock p.m. on Monday, the 8th day of April, 2019, at the Board Room of the Redwood County Government Center located at 403 South Mill Street, Redwood Falls, MN 56283.

If you have any comments or questions regarding this matter, please contact the Redwood County Environmental Office by telephone at (507) 637-4023 or in writing at *Redwood County Environmental Office, P. O. Box 130, Redwood Falls, MN 56283.*

DATED: March 25th, 2019

Nicholas W. Brozek
Land Use and Zoning Supervisor
Redwood County Environmental Office



COPY

- Selected Parcel
- Notification Area
- Parcels
- Municipal Boundaries
- Sections
- Roads

Parcel ID: 69-005-4020

1/4 mile from Selected Parcel



Feet

WARD 55/ALLY JO BETH



