



Application for Conditional Use Permit

www.co.redwood.mn.us

Permit #: 3-23 Date: 12/29/22

Location of Proposed Use:

Address: [House #] 260th Street City: Milroy State: MN Zip: 56263

Parcel #: 74-017-1020 Township: West Line Section: 17 Twp #: 111N Range: 39 W

Legal Description:

NE1/4EX TRS& TR In NW1/4SE1/4N OF R/R 155.83A

Information about the Site:

Zoning District: AG

General description of the building(s) and proposed use:

Telecommunications Tower

Building Size: (Please enter dimensions in feet)

Width: Length: Diameter: Total Height:

Setbacks: (Please enter in feet)

Side Yard Setback: 359' Direction: E

Side Yard Setback: N/A Direction: W

Rear Yard Setback: N/A Direction: S

Road Type: Township Setback from the Right-of-Way: 359' from ROW

Right-of-Way Width from Centerline ft

Type of Sewer System:

N/A

Drainage Plan:

N/A

Other Information:

[Empty box for other information]

Applicant Information:

First Name: Tate Last Name: Brandt
Business Name: Design 1 of Eden Prairie LLC
Address: 9973 Valley View Road City: Eden Prairie State: MN Zip: 55344
Home Phone: 952-903-9299 Cell Phone: 612-760-1808 Email: tbrandt@design1ep.com

Operator Information: (Complete only if different from Applicant)

First Name: Jennifer Last Name: Klinkefus
Business Name: Verizon Network Operations
Address: 10801 Bush Lake Road City: Bloomington State: MN Zip: 55438
Home Phone: _____ Cell Phone: _____ Email: jennifer.klinkefus@verizonwireless.com

Land Owner Information: (Complete only if different from applicant)

First Name: Tim Last Name: Christensen
Address: 11804 State Highway 68 City: Milroy State: MN Zip: 56263
HomePhone: _____ CellPhone: 507-828-2162 Email: _____

I affirm that the forgoing information is true and accurate. I understand that if any portion of this information is false or materially misleading, any conditional use permit issued in reliance upon this information is voidable at the election of Redwood County.

Land Owner Signature [Signature] Date: 12-5-22

Office Use Only: * The section below is to be filled out by the Environmental Office Staff

Permit Fee: \$700 Receipt #: 27156 Date Approved: _____

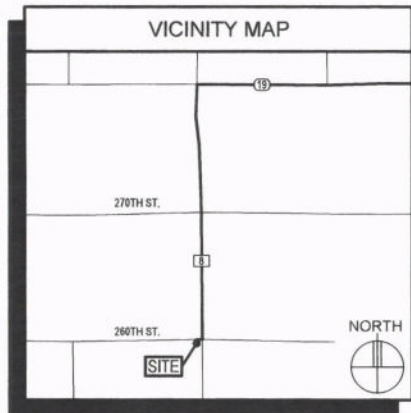
Application Received: 12/29/22

Commission Action: Approved: _____ Date: _____ Disapproved: _____ Date: _____
County Board Action: Approved: _____ Date: _____ Disapproved: _____ Date: _____



MN08 MILROY NEW BUILD

PROJECT INFORMATION	
SITE NAME:	MN08 MILROY
SITE ADDRESS:	11956 - 260TH ST MILROY, MN 56263
COUNTY:	REDWOOD
LATITUDE:	N 44° 25' 38.82" (NAD83)
LONGITUDE:	W 95° 33' 19.10" (NAD83)
DRAWING BASED ON SITE DATA FORM DATED: 08-31-22	
CONSTRUCTION TYPE:	IB
SITE AREA:	100' x 100' = 10,000 S.F.



ISSUE SUMMARY		
REV	DESCRIPTION	SHEET/DETAIL
A	ISSUED FOR REVIEW 10-02-17	ALL
B	ISSUED FOR OWNER SIGNOFF 10-20-17	ALL
C	ISSUED FOR SLAB UPGRADE 05-16-18	ALL
0	ISSUED FOR BID/CONSTRUCTION 03-11-19	ALL
1	ADDITION OF C-BAND & NOTES 11-03-22	ALL

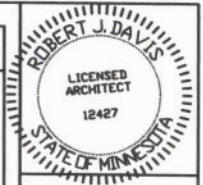
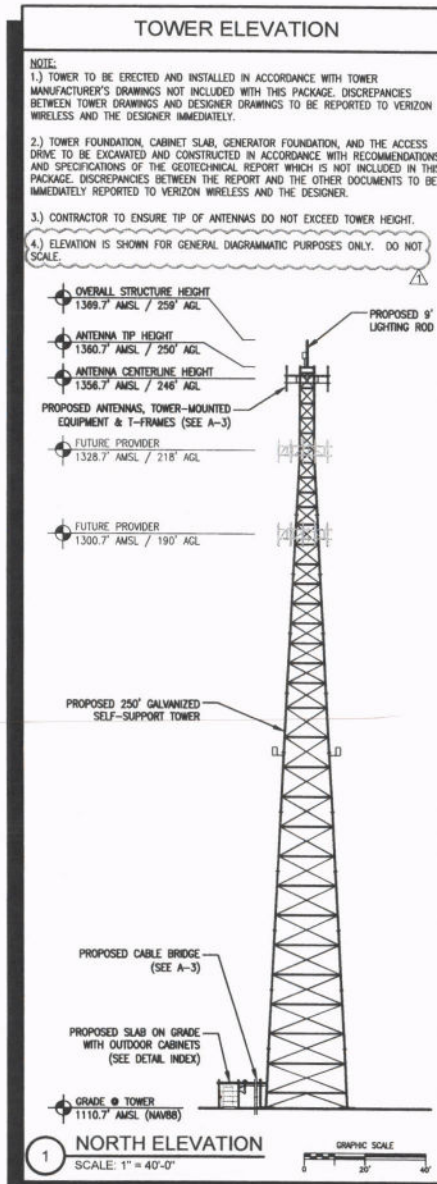
SHEET INDEX	
SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, TOWER ELEVATION & SHEET INDEX
A-1	SITE PLAN & DETAIL INDEX
A-2	ENLARGED SITE PLAN
A-3	ANTENNA AND EQUIPMENT KEY, CABLE BRIDGE PLAN, ANTENNA MOUNTING DETAIL & PHOTOS
A-4	OUTLINE SPECIFICATIONS
G-1	GROUNDING NOTES
G-2	GROUNDING PLAN & GROUNDING DETAIL INDEX
U-1	SITE UTILITY PLANS & NOTES
-	SURVEY (2 SHEETS)

DEPARTMENTAL APPROVALS		
JOB TITLE	NAME	DATE
RF ENGINEER	JUSTIN GARTNER	10-10-17
OPERATIONS MANAGER	MICHAEL STUDDTMANN	10-03-17
CONSTRUCTION ENGINEER	ALEX HOLZINGER	10-03-17

LESSOR / LICENSOR APPROVAL		
SIGNATURE	PRINTED NAME	DATE
LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW		
<input type="checkbox"/> NO CHANGES. <input type="checkbox"/> CHANGES NEEDED. SEE COMMENTS.		

CONTACTS	
LESSOR / LICENSOR:	PATTI CHRISTENSEN PO BOX 87 MILROY, MN 56263 (507) 261-9600
LESSEE:	VERIZON WIRELESS 10801 BUSH LAKE ROAD BLOOMINGTON, MN 55438 CONSTRUCTION DEPT. (952) 946-4700
POWER UTILITY COMPANY CONTACT:	OTTER TAIL POWER PO BOX 496 215 S CASCADE STREET FERGUS FALLS, MN 56538-0496 JOE DOLD (800) 346-4920 (EXT. 6202)
TELCO UTILITY COMPANY CONTACT:	T.B.D.
DESIGNER:	DESIGN 1 OF EDEN PRAIRIE, LLC 9973 VALLEY VIEW ROAD EDEN PRAIRIE, MN 55344 (952) 903-9299
SURVEYOR:	WDMSETH SMITH NOLTING 610 FILLMORE STREET - PO BOX 1028 ALEXANDRIA, MN 56308-1028 320-762-8149
STRUCTURAL ENGINEER:	N/A
GEOTECHNICAL ENGINEER:	AMERICAN ENGINEERING TESTING 550 CLEVELAND AVENUE NORTH ST PAUL, MN 55114 JAY BREKKE, PE (651) 659-9001

NOTES:
 1. NO STRUCTURAL DESIGN FOR THE TOWER, MOUNTS OR FOUNDATION HAVE BEEN PERFORMED AS PART OF THESE DRAWINGS. THE STRUCTURAL DESIGN FOR THE TOWER, MOUNT AND FOUNDATION ARE BY THE TOWER SUPPLIER AND SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT.
 2. THE STRUCTURAL DESIGN FOR THE MOUNTS SHALL BE PER THE VERIZON NETWORK STANDARD NSTD-445. ALL LOADING AND DESIGN SHALL BE PER THE TA-222-H STANDARD.
 3. THE DESIGNER MAKES NO WARRANTY, EXPRESSED OR IMPLIED, OF THE ACCURACY OF THE STRUCTURAL ANALYSES AND THE PERFORMANCE OF THE COMPLETED CONSTRUCTION AS SHOWN ON THESE DOCUMENTS AND THE STRUCTURAL ANALYSES.



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA, ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
 Date: 11/03/2022

DESIGN 1

9973 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55344
 (952) 903-9299
 WWW.DESIGN1EP.COM



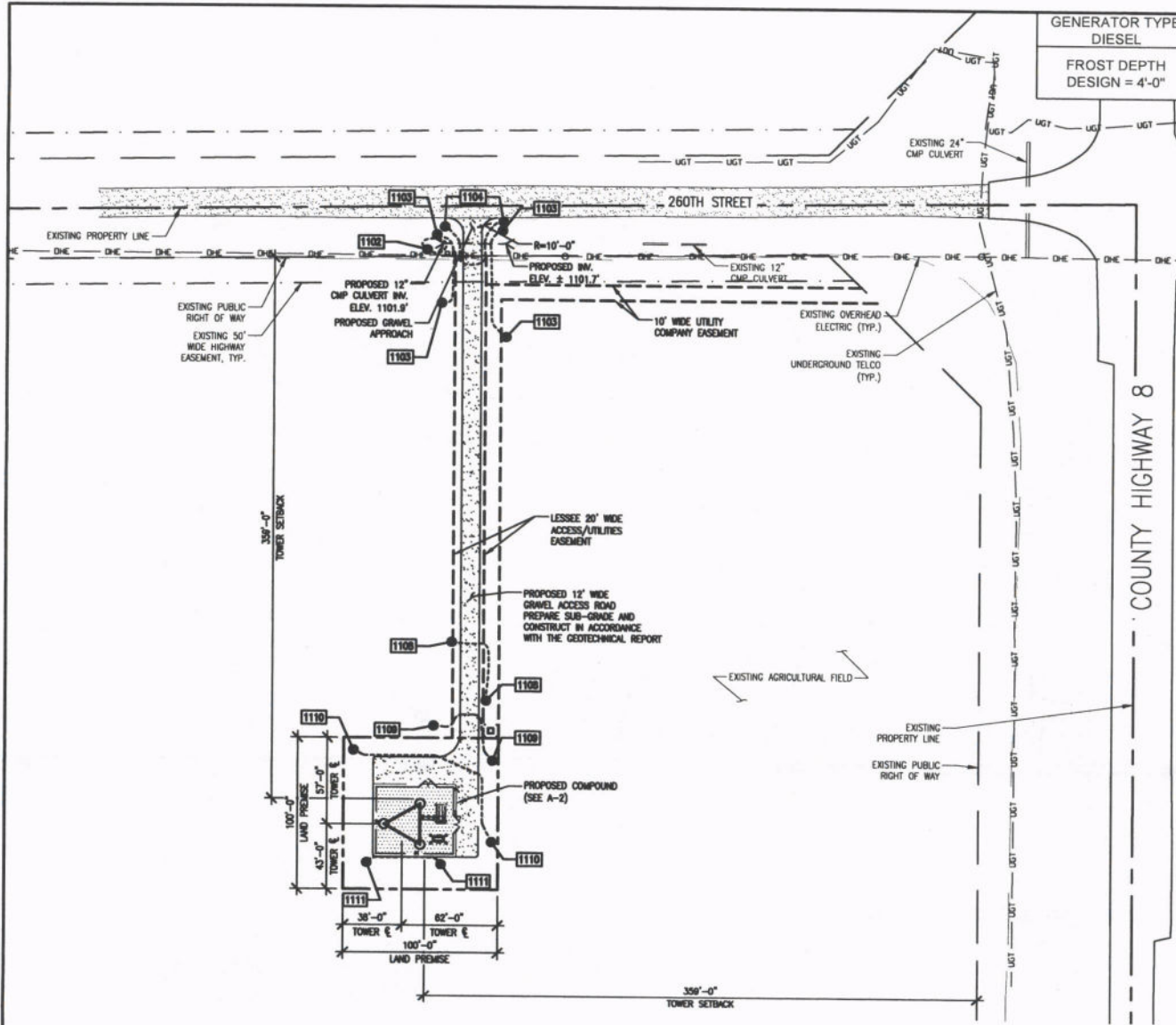
PROJECT
 20141070225
 LOC. CODE: 412906

MN08 MILROY

11956 - 260TH ST
 MILROY, MN 56263

SHEET CONTENTS:	
CONTACTS	JEP/JP
ISSUE SUMMARY	09-19-17
SHEET INDEX	TRB
DEPARTMENTAL APPROVALS	10-02-17
LESSOR APPROVAL	10-20-17
PROJECT INFORMATION	05-16-18
VICINITY MAP & LOCATION SCAN	02-22-19
TOWER ELEVATION	03-11-19
DRAWN BY:	REV. 1 11-03-22
DATE:	
CHECKED BY:	
REV. A	
REV. B	
REV. C	
REV. D	
REV. 0	
REV. 1	

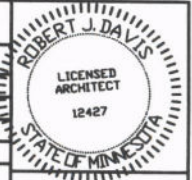
T-1



GENERATOR TYPE:
DIESEL

FROST DEPTH
DESIGN = 4'-0"

DETAIL INDEX	
DETAIL	DETAIL DESCRIPTION
SLAB	4'-0"x11'-0" SLAB ON GRADE W/ 3 CABINETS
GEN 1.4	30REOZK: DIESEL GENERATOR W ICE SHIELD
1.1	BOLLARD DETAIL
2.1	FENCE SECTION (DETAIL 2)
3.1	CABLE BRIDGE SECTION
4.3	CABLE BRIDGE ELEVATION ✓
5.1	ROAD SECTION (DETAIL 1)
6.1	GATE DETAIL (DETAIL 1)
7.1	GPS MOUNTING DETAIL (DETAIL 2)
8.1	TELCO ENTRY DETAIL
9.1	CMPH DETAIL
10.8	ONE-LINE ELECTRICAL DIAGRAM
12.1	METER DETAIL (DETAIL 2)



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Date: 11/03/2022

DESIGN 1

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EDEN PRAIRIE, MN 55344
(952) 953-8299
WWW.DESIGN1EP.COM

verizon

10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

PROJECT
20141070225
LOC. CODE: 412906

MN08 MILROY

11956 - 260TH ST
MILROY, MN 56263

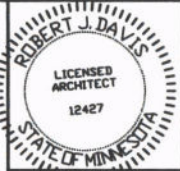
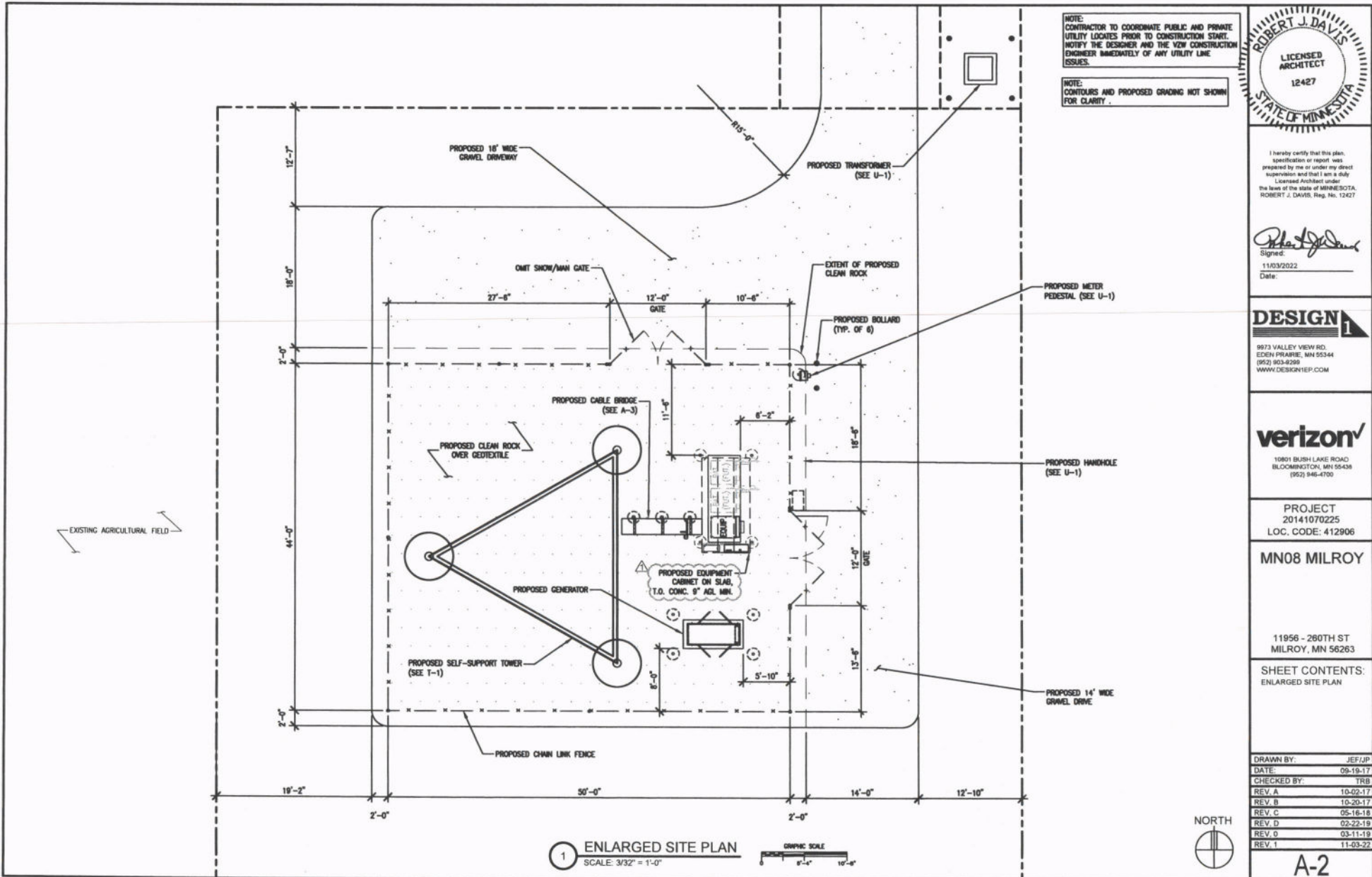
SHEET CONTENTS:
SITE PLAN
DETAIL INDEX

DRAWN BY:	JEF/JP
DATE:	09-19-17
CHECKED BY:	TRB
REV. A	19-02-17
REV. B	10-20-17
REV. C	05-16-18
REV. D	02-22-19
REV. 0	03-11-19
REV. 1	11-03-22

1 SITE PLAN
SCALE: 1" = 70'



A-1



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ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
Date: 11/03/2022

DESIGN
1
9973 VALLEY VIEW RD.
EDEN PRARIE, MN 55344
(952) 903-9269
WWW.DESIGN1EP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55436
(952) 946-4700

PROJECT
20141070225
LOC. CODE: 412906

MN08 MILROY

11956 - 260TH ST
MILROY, MN 56263

SHEET CONTENTS:
ENLARGED SITE PLAN

DRAWN BY:	JEF/JJP
DATE:	09-19-17
CHECKED BY:	TRB
REV. A	10-02-17
REV. B	10-20-17
REV. C	05-16-18
REV. D	02-22-19
REV. O	03-11-19
REV. 1	11-03-22

A-2

ANTENNA KEY											EQUIPMENT KEY					
SECTOR	AZMUTH	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MOD TYPE	ANTENNA LENGTH	ANTENNA TIP	ANTENNA CENTER	ELEC DOWN/TILT	MECH DOWN/TILT	QTY	MANUFACTURER	MODEL	RRU PORT
"X" SECTOR	0°	1.0	-	1	ERICSSON	AR 6449	L-SUB6	30.6'	247.3'	246.0'	6°	0'	(1)	COMSCOPE HYBRID JUMPER HF1410-358J1-15	-	-
	0°	2.1	TX/RX1	1	COMSCOPE	NH4-65C-R28	700/850	96"	250.0'	246.0'	2°	0'	1	ERICSSON	4449	1
	0°	2.2	TX/RX2	1	COMSCOPE	2ND PORT	700/850	-	-	-	-	-	1	ERICSSON	4449	2
	0°	2.3	TX/RX1	1	COMSCOPE	3RD PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	1
	0°	2.4	TX/RX2	1	COMSCOPE	4TH PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	2
	0°	2.5	TX/RX3	1	COMSCOPE	5TH PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	3
	0°	2.6	TX/RX4	1	COMSCOPE	6TH PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	4
	0°	3.1	TX/RX3	1	COMSCOPE	NH4-65C-R28	700/850	96"	250.0'	246.0'	2°	0'	-	ERICSSON	4449	3
	0°	3.2	TX/RX4	1	COMSCOPE	2ND PORT	700/850	-	-	-	-	-	1	ERICSSON	4449	4
	0°	3.3	TX/RX1	1	COMSCOPE	3RD PORT	PCS	-	-	-	-	-	1	ERICSSON	8843	5
"Y" SECTOR	120°	1.0	-	1	ERICSSON	AR 6449	L-SUB6	30.6'	247.3'	246.0'	6°	0'	(1)	COMSCOPE HYBRID JUMPER HF1410-358J1-15	-	-
	120°	2.1	TX/RX1	1	COMSCOPE	NH4-65C-R28	700/850	96"	250.0'	246.0'	2°	0'	1	ERICSSON	4449	1
	120°	2.2	TX/RX2	1	COMSCOPE	2ND PORT	700/850	-	-	-	-	-	1	ERICSSON	4449	2
	120°	2.3	TX/RX1	1	COMSCOPE	3RD PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	1
	120°	2.4	TX/RX2	1	COMSCOPE	4TH PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	2
	120°	2.5	TX/RX3	1	COMSCOPE	5TH PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	3
	120°	2.6	TX/RX4	1	COMSCOPE	6TH PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	4
	120°	3.1	TX/RX3	1	COMSCOPE	NH4-65C-R28	700/850	96"	250.0'	246.0'	2°	0'	-	ERICSSON	4449	3
	120°	3.2	TX/RX4	1	COMSCOPE	2ND PORT	700/850	-	-	-	-	-	1	ERICSSON	4449	4
	120°	3.3	TX/RX1	1	COMSCOPE	3RD PORT	PCS	-	-	-	-	-	1	ERICSSON	8843	5
"Z" SECTOR	240°	1.0	-	1	ERICSSON	AR 6449	L-SUB6	30.6'	247.3'	246.0'	6°	0'	(1)	COMSCOPE HYBRID JUMPER HF1410-358J1-15	-	-
	240°	2.1	TX/RX1	1	COMSCOPE	NH4-65C-R28	700/850	96"	250.0'	246.0'	2°	0'	1	ERICSSON	4449	1
	240°	2.2	TX/RX2	1	COMSCOPE	2ND PORT	700/850	-	-	-	-	-	1	ERICSSON	4449	2
	240°	2.3	TX/RX1	1	COMSCOPE	3RD PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	1
	240°	2.4	TX/RX2	1	COMSCOPE	4TH PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	2
	240°	2.5	TX/RX3	1	COMSCOPE	5TH PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	3
	240°	2.6	TX/RX4	1	COMSCOPE	6TH PORT	AWS	-	-	-	-	-	1	ERICSSON	8843	4
	240°	3.1	TX/RX3	1	COMSCOPE	NH4-65C-R28	700/850	96"	250.0'	246.0'	2°	0'	-	ERICSSON	4449	3
	240°	3.2	TX/RX4	1	COMSCOPE	2ND PORT	700/850	-	-	-	-	-	1	ERICSSON	4449	4
	240°	3.3	TX/RX1	1	COMSCOPE	3RD PORT	PCS	-	-	-	-	-	1	ERICSSON	8843	5

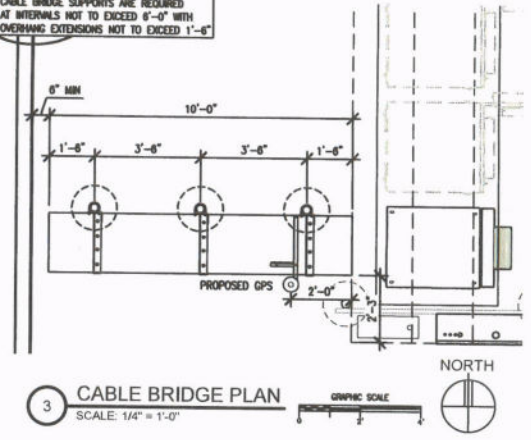
- ADDITIONAL:
- (1) DISTRIBUTION BOX, MODEL RVZDC-6627-PF-48 (ON TOWER)
 - (1) DISTRIBUTION BOX, MODEL RVZDC-4520-IM-48 (IN CABINET)
 - (2) COMSCOPE HYBRID CABLE, MODEL HFT1206-245V2-270 (DIST. BOX TO TOWER)
 - (2) COMSCOPE HYBRID JUMPER, MODEL HFT1410-358J1-15 (DIST. BOX TO RRU)
 - (36) ANDREW COAX JUMPER, MODEL LDF4-50A, 1/2" FOM DIELECTRIC, 10' EACH (RRU TO ANTENNA)
 - (1) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER UNITS (IN CABINET)
 - (5) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER MODULE (IN CABINET)

CABLE BRIDGE	= 10'
RAD CENTER	= 246'
CANOPY	= 14'
TOTAL	= 270'

1 ANTENNA KEY

2 EQUIPMENT KEY

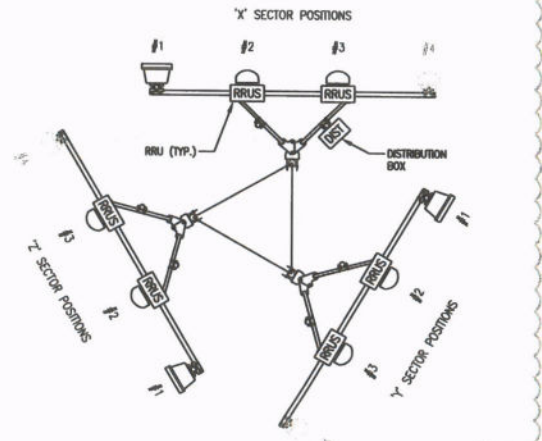
NOTE: CABLE BRIDGE SUPPORTS ARE REQUIRED AT INTERVALS NOT TO EXCEED 6'-0" WITH OVERHANG EXTENSIONS NOT TO EXCEED 1'-6"



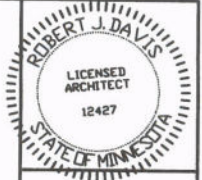
3 CABLE BRIDGE PLAN SCALE: 1/4" = 1'-0"

NOTE: T-FRAMES & ANTENNA MOUNTING PIPES BY TOWER MANUFACTURER

NOTE: TIE BACKS NOT SHOWN FOR CLARITY



4 ANTENNA MOUNTING DETAIL SCALE: 3/16" = 1'-0"



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA. ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
 11/03/2022
 Date:



1873 VALLEY VIEW RD.
 EDEN PRAIRIE, MN 55444
 (952) 903-9299
 WWW.DESIGN1EP.COM



1801 BUSH LAKE ROAD
 BLOOMINGTON, MN 55438
 (952) 946-4700

PROJECT
 2014107225
 LOC. CODE: 412906

MN08 MILROY

11956 - 280TH ST
 MILROY, MN 56263

SHEET CONTENTS:
 ANTENNA & EQUIPMENT KEY
 CABLE BRIDGE PLAN
 ANTENNA MOUNTING DETAIL
 PHOTOS

DRAWN BY:	JEF/JIP
DATE:	09-19-17
CHECKED BY:	TRB
REV. A	10-02-17
REV. B	10-20-17
REV. C	05-16-18
REV. D	02-22-19
REV. E	03-11-19
REV. 1	11-03-22



6 PHOTO: EXISTING SITE LOOKING SOUTHEAST



5 PHOTO: EXISTING SITE LOOKING SOUTH

GENERAL CONDITIONS

00 0001 PERMITS

Construction Permit shall be acquired by, or in the name of, Verizon Wireless, to be hereinafter referred to as the OWNER. Other permits shall be acquired by the Contractor.

00 0002 SURVEY FEES

Survey shall be furnished by the Designer. Layout Staking shall be coordinated with the Surveyor per "Request For Quote", (RFQ).

01 0010 INSURANCE & BONDS

Contractor is to furnish insurance certificates for themselves and subcontractors. Contractor will provide any required Bonding. Contractor agrees to warrant the project for (1) one year after completion.

01 0400 SUPERVISION & COORDINATION

Contractor shall provide supervision throughout the Project, coordinating the work of the Subcontractors, and delivery & installation of Owner-furnished items. Contractor's responsibilities include arranging & conducting of Underground Utilities Locates. Contractor shall comply with municipal, county, state and/or federal codes, including OSHA.

01 0600 TESTING

Contractor is responsible for providing Agencies with sufficient notice to arrange for Test Samples (i.e.: Concrete Cylinders), and for Special Inspections.

01 2000 MEETINGS

Contractor shall make themselves aware of, and attend, meetings with the Owner and/or Designer. Contractor shall attend a Pre-Construction Meeting of all parties involved, prior to the start of construction.

01 5100 TEMPORARY UTILITIES

Contractor shall maintain the job site in a clean and orderly fashion, providing temporary sanitary facilities, waste disposal, and security (fence area or trailer module).

01 5300 EQUIPMENT RENTAL

Contractor shall furnish equipment necessary to expedite work.

01 5900 FIELD OFFICES & SHEDS

Contractor shall provide security (fence area or trailer module) for tools and materials that remain overnight on site.

01 7000 CLEAN UP & CLOSE OUT

Contractor shall clean up the Site to the satisfaction of Owner. Contractor shall complete the items listed on the Owner's Punch List, and shall sign and return the List to the Owner. Contractor shall maintain a set of drawings during the job, as which changes shall be noted in red ink. A full set of redefined drawings (As-Built) are to be given to the Designer at Job completion and submit "construction work complete memo" to Construction Engineer.

01 8000 TRUCKS & MILEAGE

Contractor shall provide transportation for their own personnel.

01 8300 TRAVEL TIME & PER DIEM

Contractor shall provide room and board for their own personnel, and reasonable time for traveling to & from job site.

01 8200 TAXES

Contractor shall pay sales and/or use tax on materials and taxable services.

SITEMARK

02 1000 SITE PREPARATION

Contractor is to mobilize within 7 calendar days of the Owner issuing a "START" document. Contractor will immediately report to Designer if any environmental considerations arise. Site shall be scraped to a depth of 3" minimum to remove vegetative matter, and scrapings shall be stockpiled on site. Excess material to be disposed of in accordance with RFQ.

02 1100 ROAD IMPROVEMENT & CONSTRUCTION

Contractor shall furnish materials for, and install, a twelve foot (12') wide gravel driveway from the road access to the work area, for truck and crane access to site. Base course shall be 6" deep, 3/4" crushed rock, topped with 3" deep, 1 1/2" crushed rock, topped with 3" deep MN Class 3 Aggregate, (3/4" minus with binder) or Driveway Mix. Contractor shall furnish & install culverts as necessary to prevent ponding or washing-out from normal surface runoff. Contractor shall obtain city, county, state and/or federal approvals for road approach and culvert work within or adjacent to right-of ways. Road shall be graded smooth, and edges dressed, at job completion.

02 2000 EARTHWORK & EXCAVATION

Excavation material shall be used for surface grading as necessary; excess to be stockpiled on site. Excess material to be disposed of in accordance with RFQ. For dewatering excavated areas, contractor shall utilize sock or sediment filter for filtering of water discharge.

02 5000 PAVING & SURFACING

Gravel paving shall be as described in 02 1100.

02 7800 POWER TO SITE

Contractor shall coordinate the electrical service to the building with the Utility Provider. Conduits shall include pull strings. Underground conduits shall be 2-1/2" Schedule 40 PVC, (schedule 80 PVC under roads and drives) Cable to be 3/0 THHN CU. Trenches shall be backfilled in a timely fashion, using a compactor, and including two (2) detectable ribbons; one each at 3" and 15" above conduit. Service shall be 200 amp, single phase, 120/240 volt. Service type shall be "General Time-Of-Day" if available, and meter base shall be approved by utility provider. Contractor to provide and install Corlon expansion joint connections at equipment cabinet location per manufacturer's specifications and recommendations.

02 7900 TELCO TO SITE

Contractor shall provide 2" SDR-11 HOPE conduit for fiber conduit as noted on Drawings when directional boring is utilized. Contractor shall provide 2" schedule 40 PVC conduit and 2" schedule 80 PVC conduit under roadways with large-sweep elbows for fiber conduit as noted on Drawings when hand trenched. Trenches shall be as in 02 7800.

Contractor to provide and install handholes as noted in the Drawings. Additional handholes shall be provided and installed a maximum of 500 feet on center; at 90 bends if directional boring; and every third bend if hand trenched. Handholes size per Drawings and traffic-rated in roadways.

Contractor to provide and install Corlon expansion joint connections at equipment cabinet location per manufacturer's specifications and recommendations.

02 8000 SITE IMPROVEMENTS

Areas bounded by fence and adjacent to Equipment Cabinets shall receive polyethylene geotextile, 200 mesh woven, topped with 3" deep 3/4" to 1 1/2" clean rock (no fines), rolled smooth

02 8001 FENCING

All fence materials and fittings shall be galvanized steel. Fence shall be 6'-0" high x 9 ga. X 2" chain link fabric, w/ 7 ga. bottom tension wire. Corner and Gate posts shall be 2 7/8" O.D. sch 40 steel pipe, driven to frost depth plus 1' below grade. Line posts shall be 2 3/8" O.D. sch 40 steel pipe. Top Rails shall be 1 5/8" O.D. steel pipe. Gate frames shall be 1 5/8" O.D. welded pipe. Fence top shall be three (3) strands barbed wire to 7'-0" above grade, centered outward. Bracing shall be 3/8" truss rods and 1 5/8" O.D. pipe mid-rails at corners. Gate latch shall be commercial grade, "Cargo" or equal. Fabric shall extend to within 1" of finish grade. Fence enclosures shall be completed within 7 days of tower erecting and Contractor shall provide for temporary security fence at base of Tower.

02 8500 IRRIGATION SYSTEMS

N/A

02 9000 LANDSCAPING

N/A

CONCRETE

N/A

03 1000 CONCRETE FORMWORK

Concrete forms shall be dimensional lumber, modular, or steel.

03 8000 TOWER FOUNDATION

Contractor shall arrange for delivery of anchors, and shall furnish and install materials per Tower Manufacturer Plans. Tower foundation concrete and reinforcing to be per tower manufacturer's specification. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

03 8001 CATHODIC PROTECTION

N/A

03 9000 EQUIPMENT CABINET SLAB/GENERATOR FOUNDATION

Contractor shall furnish & install materials for Equipment Cabinet Slab/Generator foundation. Concrete shall be 6x ±1% or entrained, and 4,000 psi at 28 days. All reinforcing steel is to be Grade 60 (ASTM 615). Anchor bolts are furnished by Contractor. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

MASONRY

N/A

METALS

N/A

05 0000 METALS

Contractor will furnish and install steel shapes and fabricated steel items not specifically furnished by Owner, and install Owner-furnished materials. Fabrication and erection of steel items per AISC standards. Welding shall conform to AWS standards. Fabrications shall be shop welded and galvanized before delivery to site unless noted otherwise.

Steel shapes shall meet ASTM A36 and steel pipe ASTM A53 Grade B. Steel shapes and fabrications shall be hot-dip galvanized per ASTM A123 with minimum coating thickness Grade 55 (2.2 mil). Bolts shall meet ASTM F3125 and U-bolts SAE J429 Grade 5 minimum. Bolts and hardware to be hot-dip galvanized per ASTM A153. Field repair of galvanized coatings shall be per ASTM A780.

WOOD & PLASTICS

N/A

THERMAL & MOISTURE

N/A

DOORS AND WINDOWS

N/A

FINISHES

N/A

09 9000 PAINTING

Contractor shall provide materials and labor for all painting indicated in the designer documents and shall touch-up construction related scrapes & scratches with appropriate paint.

SPECIAL CONSTRUCTION

N/A

13 1280 CABLE BRIDGE, CANOPY, & ICE SHIELDS

Contractor shall furnish & install materials for the Cable Bridge as indicated on the drawings and Verizon Wireless Standard Details.

Contractor shall furnish & install materials for the Ice Shields as indicated on the Drawings & Verizon Wireless Standard Details.

13 1400 ANTENNA INSTALL

Contractor shall install Owner's antennas and feed lines during erecting. Contractor shall test and certify feed lines per current VZW standards.

13 3423 TRANSPORT AND SET EQUIPMENT CABINETS/GENERATOR

Contractor shall provide crane(s) and/or truck for transporting, setting and erecting Equipment Cabinets/Generator per RFQ. Contractor shall install items shipped loose with the Equipment Cabinets/Generator.

13 3613 TRANSPORT AND ERECT TOWER/ANTENNA MOUNTS

Contractor shall schedule delivery of Owner-furnished Tower, and provide cranes for unloading and erecting. Contractor to install antenna mounts. Contractor shall ensure the existence of a 3/8" cable safety climb (DB/Sala or equal) on the Tower.

MECHANICAL

N/A

15 4000 PLUMBING

N/A

15 5000 HVAC

N/A

ELECTRIC

N/A

16 5000 LIGHTING AND ELECTRICAL

Contractor shall provide labor and materials as necessary to complete the work shown on Drawings including items shipped loose with the Equipment Cabinets/Generator assembly.

16 6000 GROUNDING

Contractor shall make themselves familiar with and follow the current GROUNDING STANDARDS OF VERIZON WIRELESS. Contractor shall perform work as shown on Grounding Plans. Any site-specific grounding issues not covered by the GROUNDING STANDARD are to be addressed by the Contractor to the Owner.

OWNER-FURNISHED EQUIPMENT & FEES

N/A

EQUIPMENT CABINETS

GENERATOR

SELF-SUPPORT TOWER

ANTENNA PLATFORM/T-FRAMES

COAX AND/OR CABLES

ANTENNAS & DOWNLETT BRACKETS

GPS & GPS MOUNTING

BUILDING PERMIT FEES

MATERIALS TESTING FEES

SPECIAL INSPECTIONS FEES

CONTRACTOR-FURNISHED EQUIPMENT

POWER TO SITE

TELCO TO SITE

CABLE BRIDGE MATERIALS & ICE SHIELDS

GROUNDING MATERIALS

FENCING

CONNECTORS, BOOTS, & RELATED HARDWARE

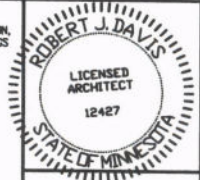
SCOPE OF WORK:

CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, TOOLS, TRANSPORTATION, SUPERVISION, ETC. TO FULLY EXECUTE WORK. WORK REQUIREMENTS ARE DETAILED ON THE DRAWINGS AND SPECIFICATIONS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

SITE PREPARATION

SITE WORK & DRIVEWAY CONSTRUCTION
EQUIPMENT CABINET, GENERATOR, & TOWER FOUNDATIONS
SET EQUIPMENT CABINETS, SET GENERATOR, & ERECT TOWER
ROUTING OF GROUND, POWER, FIBER & ALARM
SITE GROUNDING
ELECTRICAL & TELEPHONE SERVICES
INSTALL ANTENNAS & CABLES
CABLE BRIDGE & ICE SHIELDS
GRAVEL SURFACING & FENCING
TOWER LIGHTING IF PER RFQ

Contractor to compare drawings against Owner's "Request for Quote", (RFQ). If discrepancies arise, Contractor shall verify with Owner that the RFQ supersedes the drawings.



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA. ROBERT J. DAVIS, Reg. No. 12427

Signature: Robert J. Davis
11/03/2022
Date:

DESIGN
8974 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-9299
WWW.DESIGNTEP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 948-4700

PROJECT
20141070225
LOC. CODE: 412906

MN08 MILROY

11956 - 260TH ST
MILROY, MN 56263

SHEET CONTENTS:
OUTLINE SPECIFICATIONS

DRAWN BY: JEF/JUP
DATE: 09-19-17
CHECKED BY: TRB
REV. A 10-02-17
REV. B 10-20-17
REV. C 05-16-18
REV. D 02-22-19
REV. E 03-11-19
REV. F 11-03-22

A-4

GENERAL GROUNDING NOTES:

An external buried ground ring (Lead 1) shall be established around the equipment cabinet and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, leave lead 1 centered between them. If the tower base is over 20'-0" from the equipment cabinets, a separate Lead 1 shall be established around each foundation, and the two Lead 1s shall be bonded with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1s shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL487-listed compression fittings pre-filled with anti-oxidant compound. Subgrade connections shall not be cold galvanize coated.

Lead 1 shall be #2 solid bare tin-clad (SBTC) copper wire buried at local frost depth. Lead 1 bends shall be minimum 24" radius. Whip lead bends may be of 12" radius.

Ground rods shall be galvanized steel, 5/8" spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Design 1 Standard Detail Booklet.

SPECIAL CONSIDERATIONS FOR GROUND RODS:

When ground rods are not specified to be backfilled w/ Bentonite Slurry; if boulders, bedrock, or other obstructions prevent driving of ground rods, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Hole to be backfilled w/ Bentonite Slurry.

When specified with slurred Bentonite encasement, drilling equipment will be used to bore a hole for ground rod placement. Slurry shall be made from pelletized material ("Grounding Gravel"); powdered Bentonite is not allowed. If boulders, bedrock, or other obstructions are found, Contractor shall drill to the specified depth and provide Bentonite encasement.

Above-grade connections shall be by lugs w/ two-hole tongues unless noted otherwise, joined to solid leads by welding (T&B 548568E "BROWN"), self-threading (RECOGNIZED, EM 2522DH, 75.312), or 10,000psi crimping (BURNDY YAJC 27C 14E2). Surfaces that are galvanized or coated shall have coating(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used between lug & dissimilar metal (copper-to-steel, etc) but are not required between tin-clad CU lugs & tin-clad CU bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.

Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

Ground Bar leads

Ground bars are isolated electrically from lower bottoms and equipment cabinets by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SBTC, each connected to Lead 1 bi-directionally with #2 SBTC "jumpers". Pairs of #2 SBTC may be required between ground bars. Leads shall be routed to ground bars as follows:

- * The Main Ground Bar (MGB), typically mounted adjacent to ILC.
- * The Port Ground Bars (PCB), mounted inside and outside on the equipment shelter walls beneath the transmission line port.
- * Note: Transmission line grounds also attach to the PCBs.
- * The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.

NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any gaged or self-support tower, and that transmission lines are grounded to each TGB. Only the bottom-most TGB is isolated from the tower steel frame; upper TGBs may use the tower steel frame as common ground, requiring no copper leads between TGBs.

#2 SBTC Whip leads

"Whip" leads shall connect the buried external ground ring to the following items:

- Self-Support Towers:
 - * Two whips to flange(s) on each tower leg base. If none are provided, attach to the baseplate or consult tower manufacturer.

Fences:

- Metallic fence within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:
 - * Each corner post.
 - * Each pair of gate posts.
 - * Any line post over 20'-0" from a grounded post.
 - * Each gate lead to its respective gatepost using braided strap (3/4", tin-clad copper w/ lug ends).
 - * Fences around guy anchors shall be grounded in similar fashion.

Fuel tanks:

NEVER WELD to any fuel enclosure. NEVER penetrate the fuel containment. Metal tanks shall have one whip lead attached. Use an approved clamp or two-hole lug on an available flange.

Equipment Cabinets and Other General Requirements (including but not limited to):

- * Extend new Lead 21B up to shelter halo, removing two-way connections as needed. Generator-equipped shelters have 6 such connections. Connections within the shelter shall be by compression; NEVER weld inside the shelter.
- * Each vertical support pipe of the exterior cable bridge. Bridge and shall be kept at least 6" from the tower structure. The cable bridge shall be jumpered to the vertical support pipes with #2 SBTC at each vertical support pipe.
- * Opposite corners of the steel equipment platform.
- * Opposite corners of the roof shield over the equipment shelter.
- * Each HVAC unit shield, if separate (may be "jumpered" to main roof shield).
- * Each HVAC package unit.
- * Commercial electric meter box.
- * Generator receptacle, if present.
- * Steel building skid, if shelter is metal frame.
- * Each air intake or exhaust fan vent louver.
- * Each generator vent hood or louver.
- * Generator exhaust stack, external.
- * Opposite corners of generator support frame, if separate from shelter.
- * Generator fuel tank, if separate from generator unit.
- * Host building rain gutter, downspouts, and roof flashings within 25 feet.
- * Telco MPOP (Main Point of Presence), if external to equipment shelter.
- * Within cable vaults, one each to the ladder and to the manhole rim.

Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.

Inspection & Testing

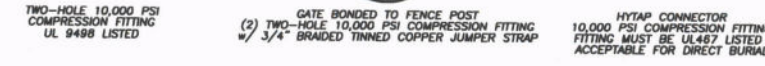
Test lead #1 and ground rods after installation but before backfilling or connecting to any other grounding, using the 3-point fall of potential method. Contractor to notify Verizon Wireless senior construction engineer at least 48 hours prior to testing. Document installation and test results with photographs.

SYMBOL AND NOTE LEGEND

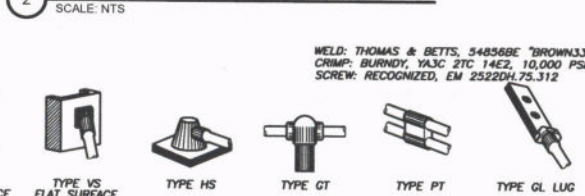
- ① #2 SBTC AROUND EQUIPMENT CABINETS, TOWER, OR GUY ANCHOR
- 5/8" X 10'-0" GALVANIZED STEEL GROUND ROD
- ⊙ TEST WELL PREFERRED LOCATION
- #2 SBTC "WHIP" LEAD
- ⑤ (2) #2 SBTC FROM MGB, PCB, OR TGB TO LEAD 1
- ⑥ AC HVAC UNIT
- ⑦ BC BUILDING CORNER
- ⑧ BO BOLLARD
- ⑨ CBS CABLE BRIDGE SUPPORT POST
- ⑩ CL CABLE LUG
- ⑪ EL ELECTRICAL SERVICE GROUND
- ⑫ EM COMMERCIAL ELECTRICAL METER
- ⑬ FAN GUY ANCHOR PLATE
- ⑭ FP FENCE POST
- ⑮ GEN GENERATOR
- ⑯ GP GATE POST, 3/4" BRAD STRAP TO LEAF
- ⑰ GPS GPS UNIT
- ⑱ GUY GUY WIRE, MECH. CLAMP ONLY - NO WELDS
- ⑲ HL HOOD OR LOUVER
- ⑳ HB OUTSIDE OF HOFFMAN BOX
- ㉑ ILC INTEGRATED LOAD CENTER
- ㉒ MGB MAIN GROUND BAR
- ㉓ MU GENERATOR MUFFLER
- ㉔ PGB PORT GROUND BAR
- ㉕ RBR FOUNDATION REINFORCING
- ㉖ RS ROOF SHEILD
- ㉗ SB STEEL BEAM
- ㉘ SP STEEL POST
- ㉙ STP STEEL PLATFORM
- ㉚ TEL HOFFMAN BOX
- ㉛ TGB TOWER GROUND BAR
- ㉜ TWR TOWER BASE
- ㉝ VP DIESEL FUEL VENT PIPE

Note:

Contractor to provide #2 solid bare tin-clad (SBTC) copper wire lead from #1 ground ring to air conditioner & ice shield if provided by VZW.



2 COMPRESSION CONNECTOR DETAILS



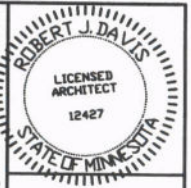
1 EXOTHERMIC WELD DETAILS



LEAD IDENTIFICATION & DESCRIPTION:

1 RING, EXTERNAL BURIED w/ RODS	#2 SBTC
1A RING, CONCRETE ENCASED	#2 SBTC
2 DEEP ANODE (TO IMPROVE OHMS)	ROD OR PIPE
3 RING TO BLDG STL FRAME	#2 SBTC
4 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND RODS, ISOLATED FROM LEAD #1	NEC 250.66
5 RING TO GROUND BAR	(2) #2 SBTC
6 RING TO EXT MTL OBJECT	#2 SBTC
7 DEEP ANODE TO MGB	NSTD33-9
8 AC PANEL TO WATER METER	NEC 250.66
9 EXT WATER TO INT WATER PIPES	NSTD33-9
10 INT WATER PIPE TO MGB	NSTD33-9
11-12, NOT USED	
13 AC PANEL TO MGB	NSTD33-9
14 MGB/FGB TO BLDG STL FRAME	#2/0 1-STR
14C MGB/FGB TO ROOF/WALL MTL PNL	#1/0 1-STR
15 MGB/FGB TO FGB-HE SAME FLOOR	#2/0 1-STR
16 NOT USED	
16A EDCFB TO CABLE ENTRY RACK	#1/0 1-STR
17 MGB TO CABLE SHIELDING	#2 1-STR
17A EDCFB TO CABLE SHIELDING	#2 1-STR
17B MGB/FGB TO F-0 SPLICE SHELF	#1 1-STR
18 LOWEST MGB/FGB TO HIGHEST FGB	#2/0 1-STR
19 LEAD 18 TO OTHER FGBs, <6"	#2/0 1-STR
20 MGB/FGB TO BRANCH AC PNL	#2 1-STR
20A NEAREST GRND TO DISCONNECT PNL	NEC 250.66
20B CWS TO AC DISTR PNL	#2 1-STR
21 MGB/FGB TO INT HALO	#2 1-STR
21A INTERIOR "GREEN" HALO	#2 1-STR
21B INT HALO TO EXT RING	#2 SBTC
21C INT HALO TO EQUIPMENT MTL	#1 1-STR
22 ROOF TOWER RING TO ROOF GRND	NFPA 780
23 MGB/FGB TO EDCFB, SAME FLOOR	#1 1-STR
23A MGB/FGB TO CUR-IN LWR PROT	#2 1-STR
24 EDCFB TO EACH PROTECTOR ASSEMBLY	#1 1-STR
24A LOWER PROT ASSY TO UPPER	#2 1-STR
25 RING TO NEAREST LIGHTNING ROD	#2 SBTC
26 LIGHTING ROD SYS TO NEARBY MTL	NFPA 780
27 RING TO TOWER RING	(2) #2 SBTC
28 RING TO SHELTER RING	(2) #2 SBTC
29 BRANCH AC PNL TO BITTY CHG FRM	NSTD33-11
30 BRANCH AC PNL TO OUTLETS	NSTD33-11
31 MGB/FGB TO PWR, BITTY FRAMES	#2/0 1-STR
32 #31 TO BATTERY CHARGER FRAME	#6 1-STR
33 #31 TO BATTERY RACK FRAME	#6 1-STR
34 #31 TO PDU FRAME	#6 1-STR
35 #31 TO DSU FRAME	#6 1-STR
36 #31 TO PDU FRAME	#6 1-STR
37 MGB/FGB TO BITTY RETURN	NSTD33-14.5
37A MGB/FGB TO RTN TERM CARR SUPP	#6 1-STR
38 FGB TO PDU GB	#750MCM 1-STR
38A FGB TO PDU GB CARRIER SUPPLY	#2/0 1-STR
38 DC BUS DUCT TO NEXT SECTION	#6 1-STR
40 DC BUS DUCT TO MGB/FGB	#6 1-STR
41A MGB/FGB TO #58	#2/0 1-STR
42-44, NOT USED	
45 MAIN AC PNL TO BRANCH AC PNL	NSTD33-11
46 BRANCH AC PNL TO DED OUTLET	NSTD33-11
47 FGB TO WTRD FRM	#2 1-STR
48 LEAD #31 TO INTEG FRM	#6 1-STR
48 INTEG FRM TO EQUIP SHELF	BY FASTENERS
50 PDU BITTY RET TO #51	#2/0 1-STR
51 #50 TO TRANS FRM ISO DC PWR	#6 1-STR
52 TRANS FRM FUSE TO FRM OR BAR	#6 1-STR
53A MGB/FGB TO PDU/FGB/FB	NSTD33-22
54 MGB/FGB TO STATIC DEVICES	#6 1-STR
55 MGB/FGB TO CABLE AT ENTRY	#6 1-STR
56 MGB/FGB TO AC PWR RADIO XMITR	#6 1-STR
57A MGB/FGB TO CBL GRD/RUNWAY	#2/0 1-STR
58A #41A TO ASLE FRAME	#6 1-STR
58A #58A TO EACH SGL FRAME GRND	#6 1-STR
60-66, NOT USED	
90 GENERATOR FRAME TO EXT RING	#2 SBTC

NOTE: GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE INSTALLATION OF ALL GROUNDING MEETS THE VERIZON NETWORK STANDARD NUMBER "NSTD46" DOCUMENT TITLED "CELL SITE AND MICROWAVE RADIO STATION PROTECTION - ENGINEERING CONSIDERATIONS"



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA. ROBERT J. DAVIS, Reg. No. 12427

Signed: [Signature] Date: 11/03/2022



9973 VALLEY VIEW RD. EDEN PRAIRIE, MN 55444 (952) 903-9299 WWW.DESIGN1EP.COM



1001 BUSH LAKE ROAD BLOOMINGTON, MN 55438 (952) 946-4700

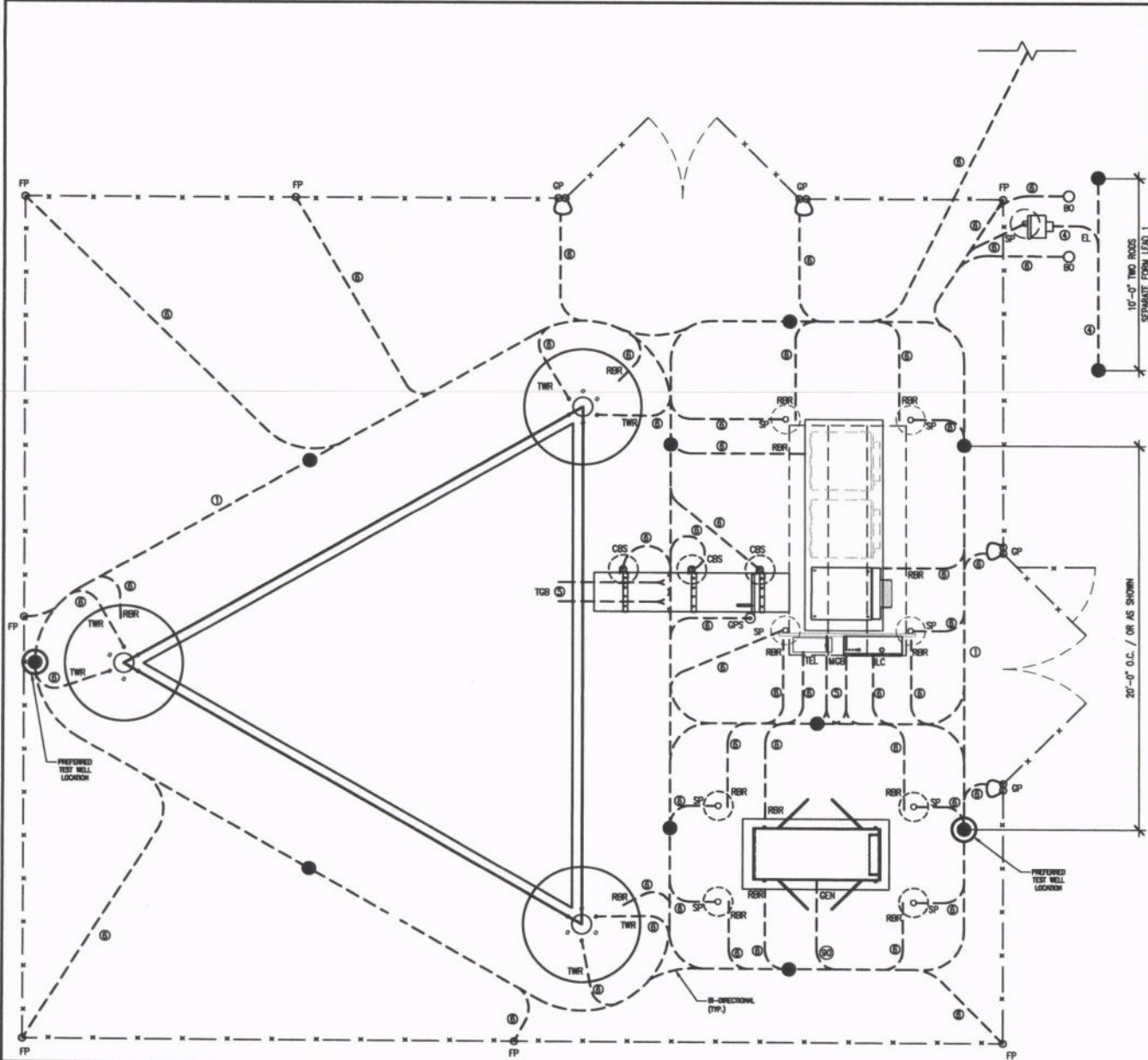
PROJECT 20141070225 LOC. CODE: 412906

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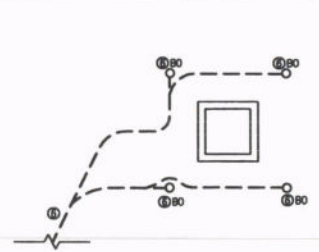
SHEET CONTENTS: GROUNDING NOTES

DRAWN BY:	JEF/JUP
DATE:	09-19-17
CHECKED BY:	TRB
REV. A:	10-02-17
REV. B:	10-20-17
REV. C:	05-16-18
REV. D:	02-23-19
REV. E:	03-11-19
REV. 1:	11-03-22



GROUNDING DETAIL INDEX

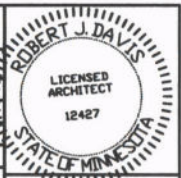
DETAIL	DETAIL DESCRIPTION
SLAB	SLAB ON GRADE GROUNDING
11.1	TEST WELL DETAIL, GROUND RING & ROD DETAIL
11.3	REBAR GROUNDING DETAIL
11.4	CONDUIT DETAIL
11.5	TYPICAL GROUNDING CABLE BRIDGE DETAIL
11.6	TYPICAL TOWER GROUNDING DETAIL



NOTE:
CONTRACTOR TO COORDINATE PUBLIC & PRIVATE UTILITY LOCATES PER STATE LAW PRIOR TO EXCAVATION. EXISTING UTILITY LINES DEVIATING FROM THAT SHOWN HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER & VZW CONSTRUCTION ENGINEER.

NOTE:
GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT THE INSTALLATION OF ALL GROUNDING MEETS THE VERIZON NETWORK STANDARD NUMBER "NSTD46" DOCUMENT TITLED "CELL SITE AND MICROWAVE RADIO STATION PROTECTION - ENGINEERING CONSIDERATIONS"

NOTE:
CONTRACTOR SHALL ENSURE THAT EACH WHIP IS ROUTED TO LEAD 1 BY THE SHORTEST PATH, AND BENDS SHALL NOT BE LESS THAN 12" RADIUS



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA.
ROBERT J. DAVIS, Reg. No. 12427

Robert J. Davis
Signed:
11/03/2022
Date:

DESIGN 1
9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 953-8299
WWW.DESIGN1EP.COM

verizon
10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 946-4700

PROJECT
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MN08 MILROY

11956 - 260TH ST
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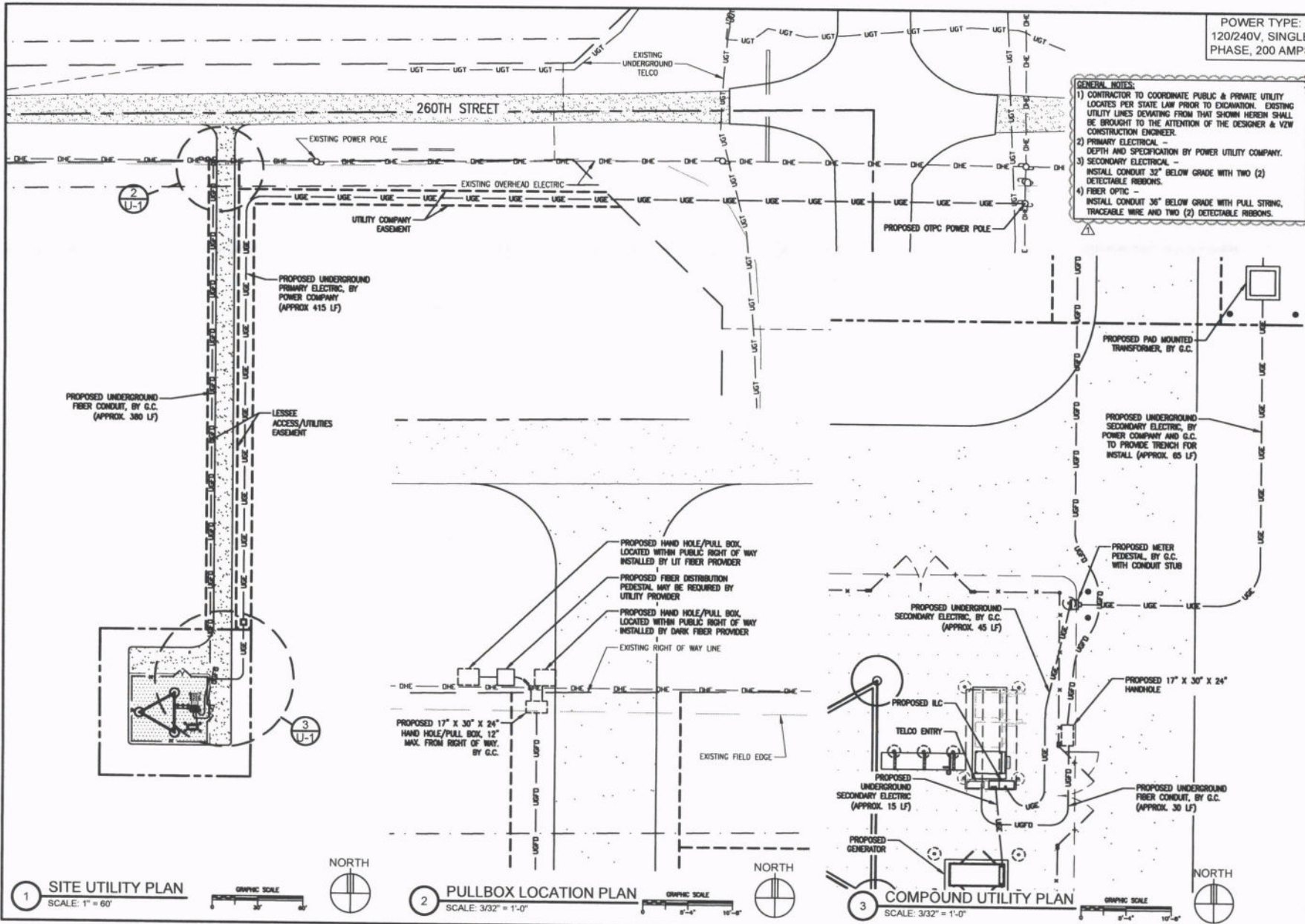
SHEET CONTENTS:
GROUNDING PLAN
GROUNDING DETAIL INDEX

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DATE:	08-19-17
CHECKED BY:	TRB
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REV. B	10-20-17
REV. C	05-16-18
REV. D	02-23-19
REV. 0	03-11-19
REV. 1	11-03-22

1 GROUNDING PLAN
SCALE: NTS

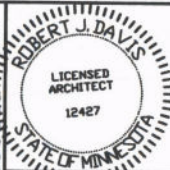


G-2



POWER TYPE:
120/240V, SINGLE
PHASE, 200 AMPS

- GENERAL NOTES:**
- 1) CONTRACTOR TO COORDINATE PUBLIC & PRIVATE UTILITY LOCATES PER STATE LAW PRIOR TO EXCAVATION. EXISTING UTILITY LINES DEVIATING FROM THAT SHOWN HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER & VZM CONSTRUCTION ENGINEER.
 - 2) PRIMARY ELECTRICAL - DEPTH AND SPECIFICATION BY POWER UTILITY COMPANY.
 - 3) SECONDARY ELECTRICAL - INSTALL CONDUIT 32" BELOW GRADE WITH TWO (2) DETECTABLE RIBBONS.
 - 4) FIBER OPTIC - INSTALL CONDUIT 36" BELOW GRADE WITH PULL STRING, TRACEABLE WIRE AND TWO (2) DETECTABLE RIBBONS.



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA. ROBERT J. DAVIS, Reg. No. 12427

Signed: *Robert J. Davis*
Date: 11/03/2022



9973 VALLEY VIEW RD.
EDEN PRAIRIE, MN 55344
(952) 903-6299
WWW.DESIGNEP.COM



10801 BUSH LAKE ROAD
BLOOMINGTON, MN 55438
(952) 944-4700

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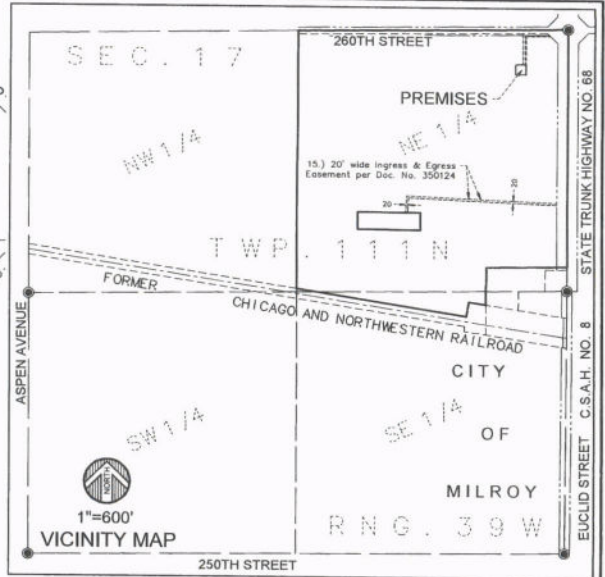
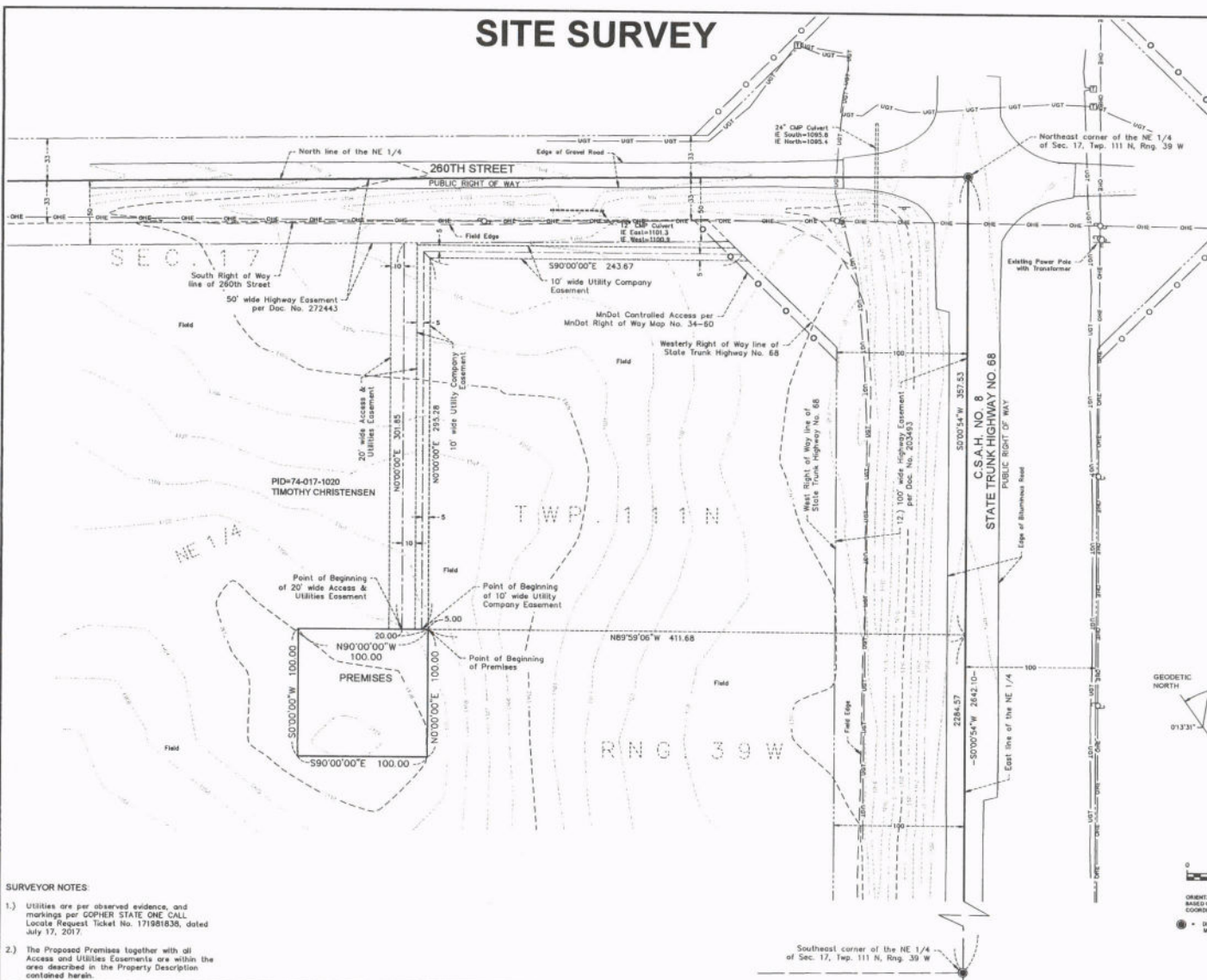
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SHEET CONTENTS:
SITE UTILITY PLANS
HANDHOLE LOCATION PLAN
COMPOUND UTILITY PLAN

DRAWN BY:	JEF/JIP
DATE:	08-19-17
CHECKED BY:	TRB
REV. A	10-02-17
REV. B	10-20-17
REV. C	05-18-18
REV. D	02-22-19
REV. O	03-11-19
REV. 1	11-03-22

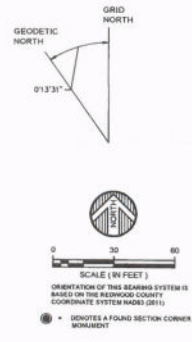
U-1

SITE SURVEY



SURVEYOR NOTES

- Utilities are per observed evidence, and markings per Gopher State One Call. Locate Request Ticket No. 171981638, dated July 17, 2017.
- The Proposed Premises together with all Access and Utilities Easements are within the area described in the Property Description contained herein.



LEGEND

	GUY ANCHOR
	SIGN SINGLE POST
	TELE PEDESTAL
	ELEC POLE
	ELEC METER
	OVERHEAD ELECTRIC
	UNDERGROUND TELEPHONE
	EDGE OF FIELD
	CULVERT
	PREMISES
	EASEMENT LINE
	CENTERLINE
	BOUNDARY LINE
	RIGHT OF WAY LINE
	SECTION LINE
	QUARTER LINE
	SIXTEENTH LINE
	CONTROLLED ACCESS
	GRAVEL SURFACE



SITE NAME:
MN08 MILROY

Redwood County, MN

No.	Date	REVISIONS	By	CHK	APPD

FIELD WORK: 8/1/17 CHECKED BY: SMK DRAWN BY: JPB/JMB

I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Shawn M. Kupcho*
SHAWN M. KUPCHO, L.S.
DATE: 11/20/17 LICENSE # 49021



WIDSETH SMITH NOLTING
Engineering | Architecture | Surveying | Environmental

FULL SCALE ON 22x34"
HALF SCALE ON 11x17"
04942345.000

Verizon area map




























Created by: Nick B



Overview



Legend

-  Municipal Boundaries
-  Surrounding Counties
-  Townships
-  Open Ditch
-  Drain Tile
-  Lakes
-  Rivers
-  Address Points
-  Parcels
- Shoreland**
-  150 ft
-  300 ft
-  300 ft L W
-  1000 ft
-  FloodPlain
-  <all other values>
-  Floodplain
- County Zoning**
-  B1
-  I1
-  R1
-  S
-  UE
-  2M
-  AG
- Major Roads**
-  State/Federal
-  County
-  County/Twp/City
-  Minor Roads

Date created: 1/24/2023
 Last Data Uploaded: 1/23/2023 9:49:06 PM

Conditions for Permit No. 3-23 (Verizon – self supporting communications tower – Tim Christensen site)

1. The permit holder shall comply with all applicable laws, rules, and regulations, including but not limited to Redwood County Ordinance, as hereafter amended from time to time.
2. The permit holder shall allow the Redwood County Environmental Office to inspect the site(s) of the project for all purposes permitted by law whenever deemed necessary by the Redwood County Environmental Office.
3. The construction, maintenance, operation, and decommissioning of the project will conform to the Application for a Conditional Use Permit submitted by Tate Brandt of Design 1 of Eden Prairie LLC as attached to the Conditional Use Permit.
4. The permit holder shall contact all relevant local, state, and federal authorities/entities and inquire as to whether a permit and/or license is required. If a permit and/or license is required, the permit holder shall apply for and obtain any and all required permits and/or licenses. A copy of all such permits and/or licenses shall be provided to the Redwood County Environmental Office upon request.
5. The permit holder shall take appropriate and reasonable measures to assure that all surface water runoff satisfies all applicable local, state, and federal discharge standards. Any drainage tile damaged during construction shall be repaired and/or replaced by the permit holder.
6. The permit holder shall not allow the conditional use to be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted. The permit holder shall not allow the conditional use to impede the normal and orderly development and improvement of surrounding vacant property for uses predominant to the area.
7. The permit holder is responsible for the control of all noxious weeds on the permitted site.
8. Adequate utilities, access roads, drainage, and other necessary facilities will be provided and continue to be provided by the permit holder now and in the future.
9. Applicant, or permit holder, as used in this Conditional Use Permit to refer to Verizon, shall also include its successors and assigns.
10. At the end of the useful life of the tower, the tower and all equipment, including ground equipment and structures, shall be decommissioned and removed by the tower owner. Decommissioning shall include removal of the footings to at least 3 feet below ground level.

11. The Redwood County Planning Commission shall review the conditional use permit and shall be authorized to take any and all necessary action(s), including but not limited to revoking the conditional use permit and/or requiring the permit holder to reapply for a conditional use permit, if: 1) The Redwood County Environmental Office acquires information previously unavailable that indicates the terms and conditions of the permit do not accurately represent the actual circumstances of the permitted facility or the conditional use; 2) It is discovered subsequent to the issuance of the permit the permit holder failed to disclose all facts relevant to the issuance of the permit or submitted false or misleading information to the Redwood County Environmental Office, the Redwood County Planning Commission, or the Redwood County Board of Commissioners; 3) The Redwood County Environmental Office determines the permitted facility or conditional use endangers human health or the environment; and/or (4) The permit holder violates any of the herein described conditions.



REDWOOD COUNTY ENVIRONMENTAL OFFICE

*Planning & Zoning ● Parks & Trails ● GIS
Aquatic Invasive Species ● Septic Inspector
Drainage Inspector ● Agricultural Inspector*

PO BOX 130
REDWOOD FALLS
MINNESOTA 56283
PH: 507-637-4023

REDWOOD COUNTY PLANNING COMMISSION

**Tim Christensen – Verizon Tower
Conditional Use Permit Application #3-23
January 31, 2023**

FINDINGS OF FACT

ORDINANCE CRITERIA – The Planning Commission may recommend the granting of a Conditional Use Permit in any district provided the proposed use is listed as a conditional use for the district and upon a showing that the standards and criteria stated in this Ordinance will be satisfied and that the use is in harmony with the general purposes and intent of this Ordinance and the Comprehensive Plan.

In determining whether the proposed use is in harmony with the general purposes and intent of the Ordinance and the Comprehensive Plan, the Planning Commission shall consider and make findings on the following questions:

1) What potential health safety and welfare impacts were raised at the hearing and why will they, or why won't they, impact the neighboring residents?

2) What potential impacts on area property uses were raised at the hearing and why will they, or why won't they, impact the property uses in the area?

3) What potential impacts on property values or future development were raised at the hearing, and why will they, or why won't they, impact the neighboring properties?

4) What infrastructure is needed to support the proposed use and how will it be provided?

5) How do the goals, purpose and policies of the Zoning Ordinance and Comprehensive Plan apply to the proposed project?

NAME: _____

DATE: _____

AFFIDAVIT OF SERVICE VIA U.S. MAIL

STATE OF MINNESOTA)
) ss
COUNTY OF REDWOOD)

RE: *Application for Conditional Use Permit* submitted by Tate Brandt of Design 1 of Eden Prairie, LLC as agent for Verizon Wireless o/b/o landowner Tim Christensen; Permit Application No. 2-23

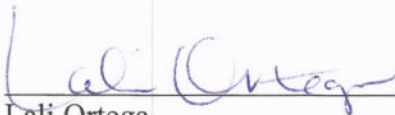
I, Lali Ortega, a person not less than eighteen (18) years of age, being first duly sworn upon oath, hereby state a copy of the following:

- 1. Notice of Public Hearing on *Application for Conditional Use Permit*; and**
- 2. Notice of Public Hearing**

were duly served upon:


-SEE ATTACHED-

by enclosing a copy of the same in an envelope, with postage prepaid, and depositing said envelope in a United States Postal Service mailbox located at Redwood Falls, Minnesota on the 19th day of January, 2023.

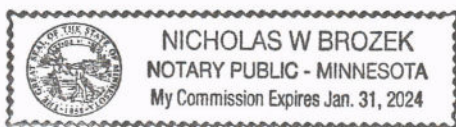


Lali Ortega
Environmental Administrative Assistant

Subscribed and sworn to before me, a Notary Public, on this 19th day of January, 2023, by Lali Ortega.




Notary Public



Parcel ID	NAME	ADDRESS	ADDRESS 1	CITY	STATE	ZIP
740093020	BOWMAN/EVA JEAN/ETAL	PO BOX 218		MILROY	MN	56263
740172020	CHRISTENSEN/DANIEL J/TR ETAL	11325 CO HWY 32	PO BOX 174	MILROY	MN	56263
740162040	CHRISTENSEN/JOHN L & JANICE	PO BOX 7		MILROY	MN	56263
740162020	CHRISTENSEN/JOHN W	11769 ST HWY 68	PO BOX 128	MILROY	MN	56263
740171060	CHRISTENSEN/PATRICIA K	PO BOX 87		MILROY	MN	56263
850174200	CHRISTOPHERSON/DOUGLAS L	PO BOX 198		MILROY	MN	56263
850174015	FARMERS COOP ASSOCIATION OF	PO BOX 100		MILROY	MN	56263
740084040	LAVOY/JASON & LEZLIE	11221 260 ST		MILROY	MN	56263
850174195	MILROY/CITY OF	PO BOX 9		MILROY	MN	56263
850171010	STOLP/DUSTIN	605 EUCLID AVE		MILROY	MN	56263
850171011	KERN/ JOSEPH D	606 EUCLID AVE		MILROY	MN	56264
	WESTLINE TOWNSHIP BOARD OF SUPERVISORS	% BETSY SNYDER, CLERK	12286 220 ST	MILROY	MN	56263
	CITY OF MILROY	% BETSY SNYDER, CLERK	PO BOX 9	MILROY	MN	56263
	TATE BRANDT	DESIGN 1 of EDEN PRAIRIE LLC	9973 VALLEY VIEW ROAD	EDEN PRAIRIE	MN	55344
	TIM CHRISTENSEN	11804 STATE HIGHWAY 68		MILROY	MN	56263



TO: Whom It May Concern

FROM: Nick Brozek 
Land Use and Zoning Supervisor
Redwood County Environmental Office

DATE: January 18th, 2023

RE: Notice of Public Hearing on Application for Conditional Use Permit

Please find enclosed a *Notice of Public Hearing* regarding an *Application for Conditional Use Permit* filed by Tate Brandt of Design 1 of Eden Prairie LLC, as agent for Verizon Network Operations, o/b/o landowner Tim Christensen, pursuant to Redwood County Code of Ordinances, Title XV, Sections 153.446 and 153.381. Verizon is proposing to construct a 250 foot self-supporting telecommunications tower (259 foot overall height including lightning rod) on the following described property, situated in the County of Redwood, State of Minnesota, to wit:

The Northeast Quarter (NE1/4) and part of the Northwest Quarter of the Southeast Quarter (NW1/4 SE1/4) lying north of the railroad, in Section 17, Township 11 North, Range 39 West, Westline Township.

A public hearing thereon will be held before the Redwood County Planning Commission at the Planning Commission meeting scheduled at 1:00 o'clock p.m. on Tuesday, the 31st day of January, 2023, at the Board Room of the Redwood County Government Center located at 403 South Mill Street, Redwood Falls, MN 56283.

Pursuant to Redwood County Zoning Ordinance, all property owners of record within five hundred (500) feet of the incorporated areas and/or one-quarter (1/4) of a mile of the affected property or the ten (10) properties nearest to the affected property, whichever would provide notice to the greatest number of landowners in the unincorporated areas, the township in which the affected property is located, and all municipalities within two (2) miles of the property are required to be notified in writing of the time and place of the public hearing.

If you have any comments or questions regarding this matter, please contact the Redwood County Environmental Office and/or attend the public hearing at the time and date set forth in the *Notice of Public Hearing*.

Enclosure

Cc: Tate Brandt
Tim Christensen



REDWOOD COUNTY ENVIRONMENTAL OFFICE

*Planning & Zoning • Parks & Trails • GIS
Aquatic Invasive Species • Septic Inspector
Drainage Inspector • Agricultural Inspector*

PO BOX 130
REDWOOD FALLS
MINNESOTA 56283
PH: 507-637-4023

NOTICE OF PUBLIC HEARING

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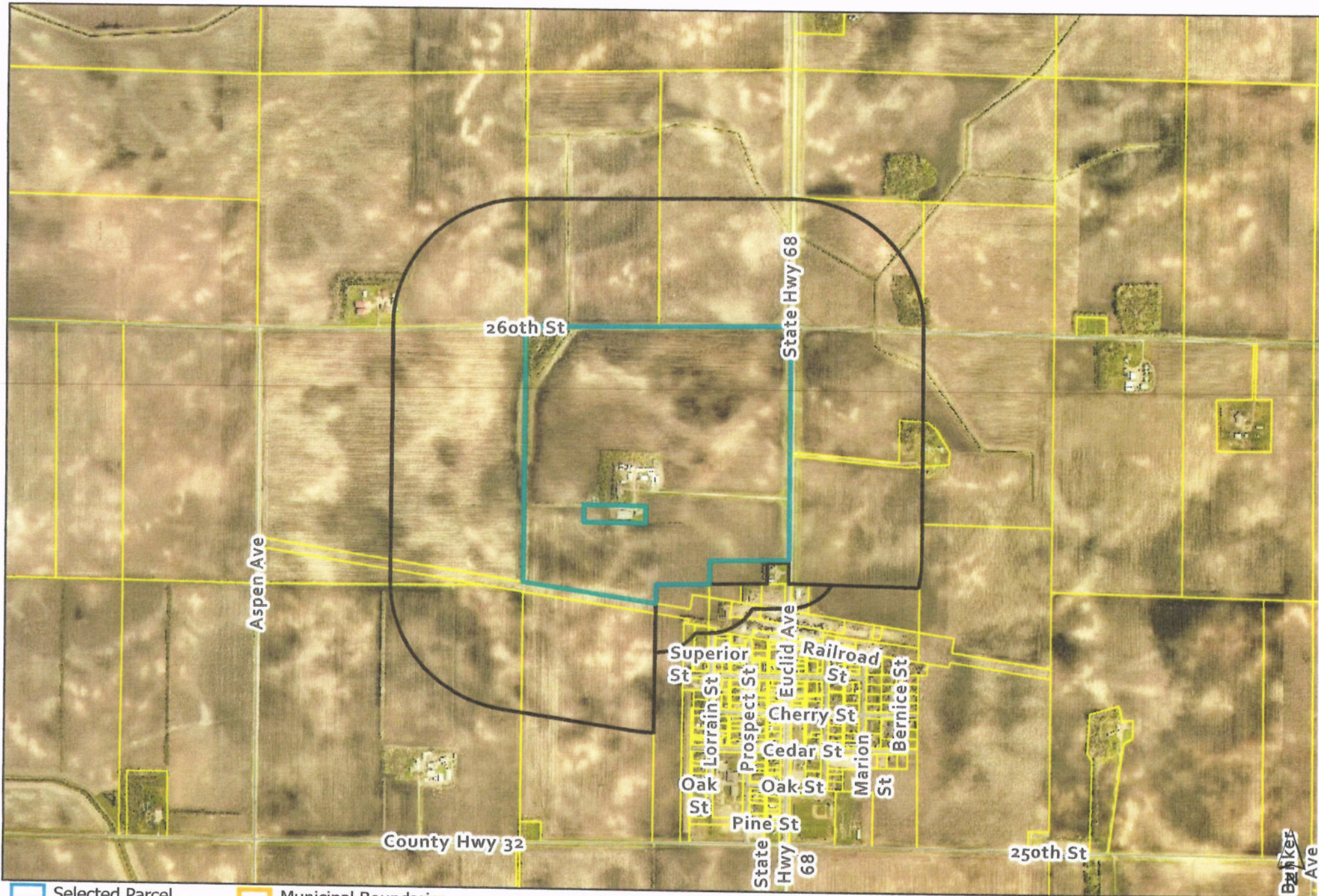
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If you have any comments or questions regarding this matter, please contact the Redwood County Environmental Office by telephone at (507) 637-4023 or in writing at *Redwood County Environmental Office, P.O. Box 130, Redwood Falls, MN 56283.*

DATED: January 12th, 2022

Nicholas W. Brozek
Land Use and Zoning Supervisor
Redwood County Environmental Office



Selected Parcel

Municipal Boundaries

Notification Area

Sections

Parcels

Roads

**CUP Notification Area:
0.25 miles & 500 feet from selected parcel**

0 500 1,000 2,000
Feet

Parcel ID: 74-017-1020

Banker's Ave

PROOF OF PUBLICATION

RECEIVED
JAN 19 2023
REDWOOD COUNTY
ENVIRONMENTAL OFFICE

AFFIDAVIT OF PUBLICATION: #762780

STATE OF MINNESOTA, COUNTY OF REDWOOD

The Redwood Falls Gazette has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.

Mortgage Foreclosure Notices. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspapers' known office of issue is located in Brown, Chippewa, Lyon, Polk, Redwood, Watonwan & Yellow Medicine counties. The newspapers comply with the conditions in §580.033, subd. 1, clause (1) or (2). If the newspaper known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

The affixed notice appeared in said newspaper on the following issues:

01/19/2023

Sworn to and subscribed before on 01/19/2023.

Kathy Malm

Authorized Agent


Leanne Kaufenberg

Notary, State of MN, County of Redwood
Commission expires January 31, 2025

Publication Cost: \$98.90
Order No: 762780
PO #:

THIS IS NOT AN INVOICE!

Please do not use this form for payment remittance.

 LEANNE JOY KAUFENBERG
Notary Public
State of Minnesota
My Commission Expires
January 31, 2025

NOTICE OF PUBLIC HEARING

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If you have any comments or questions regarding this matter, please contact the Redwood County Environmental Office by telephone at (507) 637-4023 or in writing at Redwood County Environmental Office, P.O. Box 130, Redwood Falls, MN 56283.

DATED: January 12th, 2022

/s/ Nicholas W. Brozek
Land Use and
Zoning Supervisor
Redwood County
Environmental Office
January 19, 2023

762780

Affidavit of Publication

State of Minnesota)
) SS.
County of Renville)

RECEIVED
JAN 24 2023
REDWOOD COUNTY
ENVIRONMENTAL OFFICE

NOTICE OF PUBLIC HEARING

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DATED: January 12th, 2022
/s/ Nicholas W. Brozek
Land Use and Zoning

Supervisor
Redwood County
Environmental Office

Published in the Standard-Gazette & Messenger January 18, 2023.

Denise Bonsack, being first duly sworn, on oath states as follows:

1. I am the publisher of the Standard-Gazette & Messenger, or the publisher's designated agent. I have personal knowledge of the facts stated in this Affidavit, which is made pursuant to Minnesota Statutes §331A.07.

2. The newspaper has complied with all of the requirements to constitute a qualified newspaper under Minnesota law, including those requirements found in Minnesota Statutes §331A.02.

3. The dates of the month and the year and day of the week upon which the public notice attached/copied below was published in the newspaper are as follows:

Wed, January 18, 2023

4. The publisher's lowest classified rate paid by commercial users for comparable space, as determined pursuant to § 331A.06, is as follows:

\$7.50

5. Mortgage Foreclosure Notices [Effective 7/1/15]. Pursuant to Minnesota Statutes §580.033 relating to the publication of mortgage foreclosure notices: The newspaper's known office of issue is located in Renville County. The newspaper complies with the conditions described in §580.033, subd. 1, clause (1) or (2). If the newspaper's known office of issue is located in a county adjoining the county where the mortgaged premises or some part of the mortgaged premises described in the notice are located, a substantial portion of the newspaper's circulation is in the latter county.

FURTHER YOUR AFFIANT SAITH NOT.

Denise Bonsack

[Signature]

Subscribed and sworn to before me on this 18th day of January 2023

Andrea Merkel

Notary Public

