



Application for Conditional Use Permit

www.co.redwood.mn.us

Permit #: 11-24 Date: 10-14-24

Location of Proposed Use:

Address:  N/A City: Vesta State: MN Zip: 56292  
House # Street Name

Parcel #: 72-016-1020 Township: Vesta Section: 16 Twp #: 112 Range: 38

Legal Description:

See attached land survey for full description of lease premises and parent parcel.

Information about the Site:

Zoning District: AG

NOTICE: Change of land use may affect your property taxes.

General description of the building(s) and proposed use:

Construction of a 250' self-support style cell tower within an overall height of 259' including the lightning rod. Tower will be built within a 43' x 50' gravel compound and accessed via 12' gravel road and new approach from Hwy 19. Utilities, including power and fiber will be installed underground alongside the access drive.

Building Size: (Please enter dimensions in feet)

Width: N/A Length: N/A Diameter: N/A Total Height: 259'

Setbacks: (Please enter in feet)

Side Yard Setback: 460' Direction: N

Side Yard Setback: 900' Direction: S

Rear Yard Setback: 2,475' Direction: E

Road Type: State Hwy Setback from the Right-of-Way: 79'

Setback from the center of the road 129 ft

Type of Sewer System:

N/A, no sewer/septic required.

Drainage Plan:

N/A

**Other Information:**

Location and design of new approach has been preliminarily reviewed by MNDOT and a permit will be issued prior to construction.

**Applicant Information:**

First Name: Blair Last Name: Ransom  
Business Name: Buell Consulting, Inc. o/b/o Verizon Wireless  
Address: 720 Main Street, Ste 200 City: St. Paul State: MN Zip: 55118  
Home Phone: 612.875.1808 Cell Phone: 612.875.1808 Email: b.ransom@grahamredev.com

**Operator Information:** (Complete only if different from Applicant)

First Name: Mary Last Name: Julius  
Business Name: Alltel Corporation d/b/a Verizon Wireless  
Address: 10801 Bush Lake Rd City: Bloomington State: MN Zip: 55438  
Home Phone: 612.723.4461 Cell Phone: 612.723.4461 Email: mary.julius2@verizonwireless.com

**Land Owner Information:** (Complete only if different from applicant)

First Name: James Last Name: DuBois  
Address: 3220 East Minnehaha Parkway City: Minneapolis State: MN Zip: 55406  
HomePhone: 612.308.2364 CellPhone: 612.308.2364 Email: jimdubois063@gmail.com

I affirm that the forgoing information is true and accurate. I understand that if any portion of this information is false or materially misleading, any conditional use permit issued in reliance upon this information is voidable at the election of Redwood County.

Land Owner Signature:  Date: 15-Aug-20  
Jim du Bois (Aug 19, 2024 16:17 CDT)

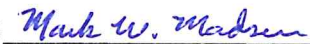
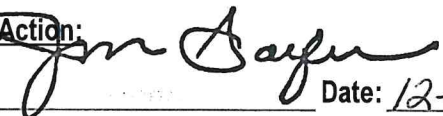
**Office Use Only:** \* The section below is to be filled out by the Environmental Office Staff

Permit Fee: \$700.00 Receipt #: 332559 Date Approved: \_\_\_\_\_

Application Received: 10-14-2024

**Commission Action:**

**County Board Action:**

Approved:  Date: 11-26-24 Approved:  Date: 12-3-24  
Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_  
Approved: \_\_\_\_\_ Date: \_\_\_\_\_ Approved: \_\_\_\_\_ Date: \_\_\_\_\_  
Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_








# Eagle Vesta Conditional-Use-Permit-Application

Final Audit Report

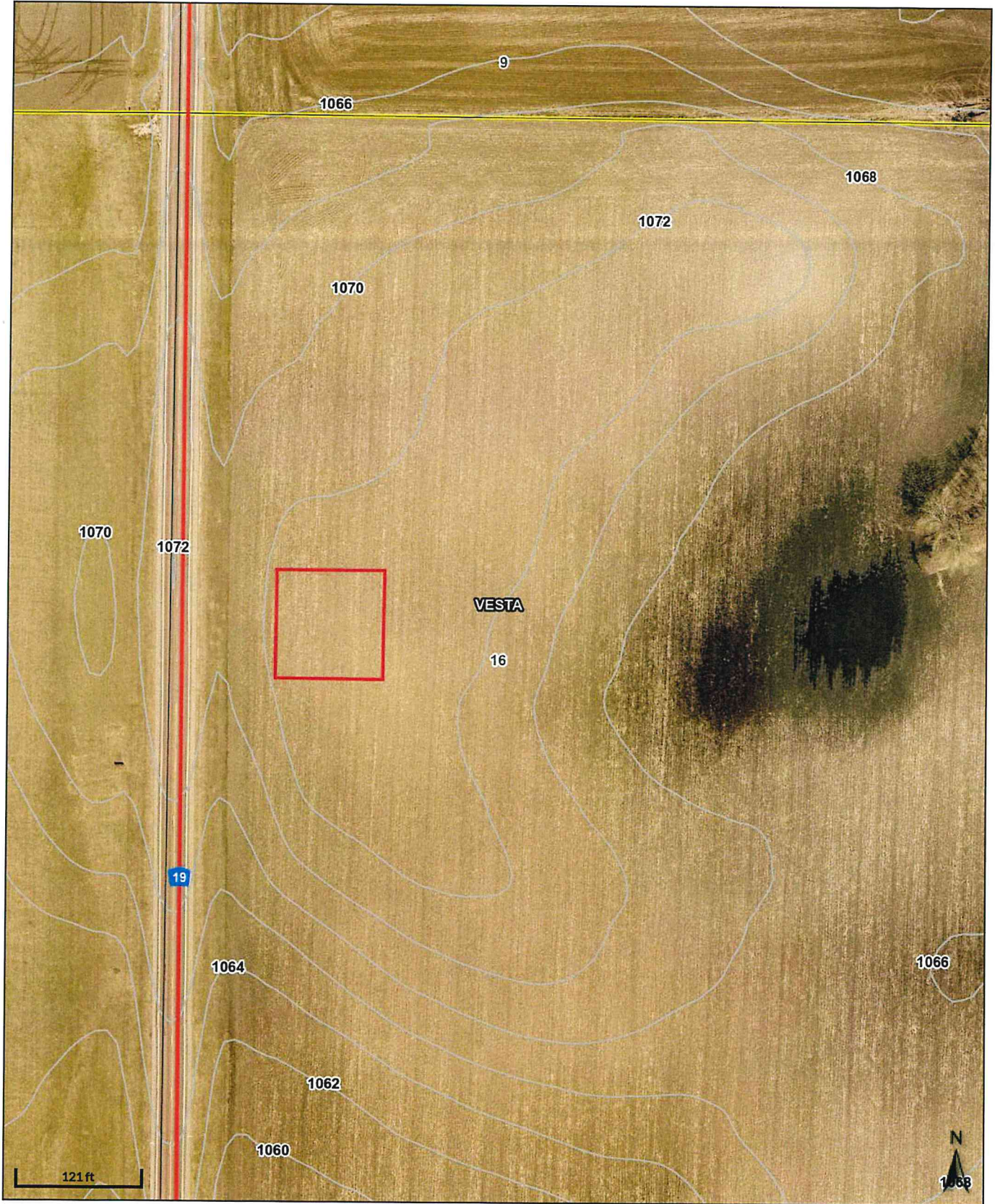
2024-08-19

Created:	2024-08-08
By:	Blair Ransom (b.ransom@grahamredev.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAE6xCROExpJQTqgYS_cVDVbr4_bp-TDjC

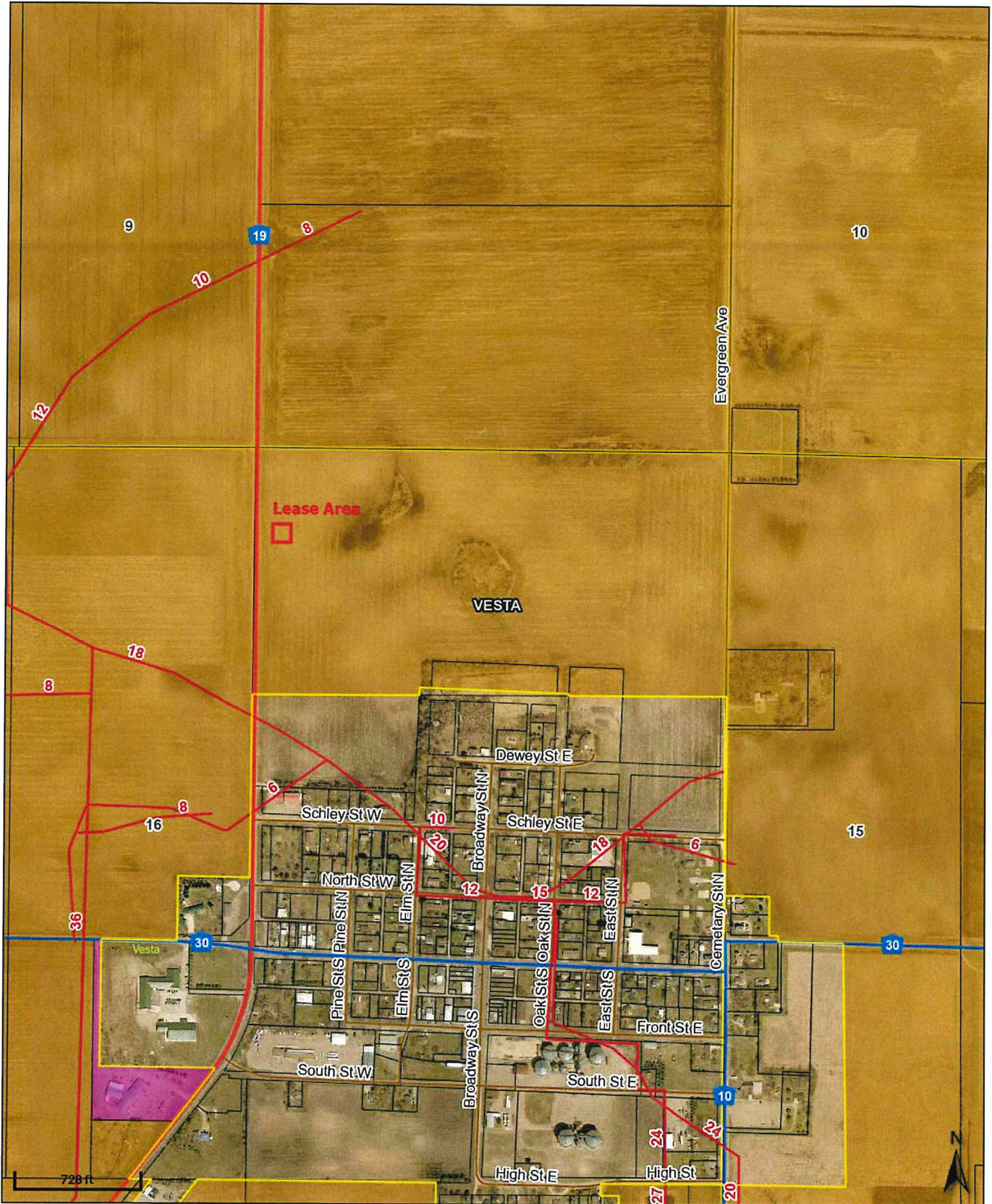
## "Eagle Vesta Conditional-Use-Permit-Application" History

-  Document created by Blair Ransom (b.ransom@grahamredev.com)  
2024-08-08 - 9:43:54 PM GMT
-  Document emailed to Jim du Bois (jimdubois063@gmail.com) for signature  
2024-08-08 - 9:44:00 PM GMT
-  Email viewed by Jim du Bois (jimdubois063@gmail.com)  
2024-08-15 - 1:08:17 PM GMT
-  New document URL requested by Jim du Bois (jimdubois063@gmail.com)  
2024-08-19 - 9:16:22 PM GMT
-  Email viewed by Jim du Bois (jimdubois063@gmail.com)  
2024-08-19 - 9:16:36 PM GMT
-  Document e-signed by Jim du Bois (jimdubois063@gmail.com)  
Signature Date: 2024-08-19 - 9:17:06 PM GMT - Time Source: server
-  Agreement completed.  
2024-08-19 - 9:17:06 PM GMT

# Lease Area



# Neighborhood



**Conditions for Permit No. 11-24 (Vertical Bridge –  
Self-supporting communications tower – James DuBois site)**

1. The permit holder shall comply with all applicable laws, rules, and regulations, including but not limited to Redwood County Ordinance, as hereafter amended from time to time.
2. The permit holder shall allow the Redwood County Environmental Office to inspect the site(s) of the project for all purposes permitted by law whenever deemed necessary by the Redwood County Environmental Office.
3. The construction, maintenance, operation, and decommissioning of the project will conform to the Application for a Conditional Use Permit submitted by Blair Ransom of Buell Consulting as attached to the Conditional Use Permit.
4. The permit holder shall contact all relevant local, state, and federal authorities/entities and inquire as to whether a permit and/or license is required. If a permit and/or license is required, the permit holder shall apply for and obtain any and all required permits and/or licenses. The permit holder shall obtain FAA and Federal Communications licensure/approvals. A copy of all such permits, licenses, and approvals shall be provided to the Redwood County Environmental Office within 30 days after receipt by the permit holder.
5. Prior to applying for and receiving a zoning permit, the permit holder shall provide the following:
  - i. A report from a licensed engineer that describes the telecommunication tower's capacity, including the number and type of antenna that it can accommodate.
  - ii. A sworn and certified statement by an engineer certifying that the tower is structurally sound and conforms to the requirements of the state's Building Code and all other construction standards set forth by the county, federal and state law.
6. The permit holder shall take appropriate and reasonable measures to assure that all surface water runoff satisfies all applicable local, state, and federal discharge standards. Any drainage tile damaged during construction shall be repaired and/or replaced by the permit holder.
7. The permit holder shall not allow the conditional use to be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted. The permit holder shall not allow the conditional use to impede the normal and orderly development and improvement of surrounding vacant property for uses predominant to the area.
8. The permit holder is responsible for the control of all noxious weeds on the permitted site.
9. Adequate utilities, access roads, drainage, and other necessary facilities will be provided and continue to be provided by the permit holder now and in the future. The permit holder shall obtain a MNDOT permit for construction of their access off of Highway 19.

10. Applicant, or permit holder, as used in this Conditional Use Permit to refer to Verizon, shall also include its successors and assigns.
11. At the end of the useful life of the tower, the tower and all equipment, including ground equipment and structures, shall be decommissioned and removed by the tower owner. Decommissioning shall include removal of the footings to at least 3 feet below ground level. A removal bond shall be given in favor of Redwood County in lieu of a decommissioning agreement.
12. The Redwood County Planning Commission shall review the conditional use permit and shall be authorized to take any and all necessary action(s), including but not limited to revoking the conditional use permit and/or requiring the permit holder to reapply for a conditional use permit, if: 1) The Redwood County Environmental Office acquires information previously unavailable that indicates the terms and conditions of the permit do not accurately represent the actual circumstances of the permitted facility or the conditional use; 2) It is discovered subsequent to the issuance of the permit the permit holder failed to disclose all facts relevant to the issuance of the permit or submitted false or misleading information to the Redwood County Environmental Office, the Redwood County Planning Commission, or the Redwood County Board of Commissioners; 3) The Redwood County Environmental Office determines the permitted facility or conditional use endangers human health or the environment; and/or (4) The permit holder violates any of the herein described conditions.



BUELL CONSULTING, INC.  
720 Main Street, Suite 200  
Saint Paul, MN 55118  
(651) 361-8110  
[www.buellconsulting.com](http://www.buellconsulting.com)

SENT VIA EMAIL

October 9, 2024

Jeanette Pidde  
Land Use and Zoning Supervisor  
Redwood County Environmental Department  
403 South Mill Street  
Redwood Falls, MN 56283

**RE: Verizon Wireless/Cell Tower Conditional Use Permit/PID: 72-016-1020**

Dear Ms. Pidde,

Verizon Wireless is proposing to construct a new cell tower in Redwood County outside of the City of Vesta. The proposed tower is a 250' self-support lattice style with an overall height of 259' including a 9' lightning rod. The tower will be built within a 43' x 50' fenced gravel compound and the scope of work includes a 12' driveway and new approach onto State Highway 19. The approach will be reviewed and permitted through MNDOT.

The following lists the supplementary documentation included in the application and addresses the relevant portions of *Telecommunications Tower Management* section of the Redwood County zoning ordinance.

**Site Location:** PID 72-016-1020; N1/2 of the NE1/4 of Sec. 16 – Twp. 112N – Rng. 38W

**Supplementary Documentation:**

- Conditional Use Permit Application
- Construction Drawings – Includes land survey.
- Engineering Letter
- Removal Cost Estimate & Bond
- FAA Determination of No Hazard
- Colocation Letter of Intent





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## § 153.381 – Permit Application

### A. Land Use/Zoning Permit

- 1) Name and address of property owners.
  - i) Property: James DuBois; 3220 East Minnehaha Pkwy, Minneapolis, MN 55406.
  - ii) Tower: Alltel Corporation d/b/a Verizon Wireless; 10801 Bush Lake Rd, Bloomington, MN 55438.
- 2) Written description of Tower.
  - i) Construction of a 250' self-support style cell tower within an overall height of 259' including the lightning rod. Tower will be built within a 43' x 50' gravel compound and accessed via 12' gravel road and new approach from Hwy 19. Utilities, including power and fiber will be installed underground alongside the access drive.
- 3) Site Plan: See construction drawings and land survey. Parcel boundaries and location of tower/structures are included. No tile lines, septic systems, wells, or power lines (other than the new underground electric) were identified in the vicinity of the tower facilities. The nearest trees are shown in Attachment I.
- 4) As shown in Attachment I, there are no scenic areas or bluffs within a 1,320' radius of the tower.
- 5) Applicant requests the FCC ASR be a condition of the CUP approval. The estimated receipt is Q1 2025 and will be provided prior to issuance of the building permit. FAA Determination of No Hazard has been issued and included with this application.

### B. Conditional Use Permit

- 1) As shown in Attachment II, the nearest co-locatable structure is a tower 1.3mi south. The proposed location was chosen to maximize the efficacy of the target coverage area, which is the City of Vesta and the stretch of Hwy 19 heading north to the intersection with Hwy 67. The tower south of Vesta would not have satisfactorily achieved those coverage objectives.
- 2) See landowner signed Conditional Use Permit application.
- 3) PID 72-016-1020; N1/2 of the NE1/4 of Sec. 16 – Twp. 112N – Rng. 38W. See site survey for full parcel legal description.
- 4) No known airports within 3-miles, see attachment III.
- 5) No known airports within 5-miles. FAA Determination of No Hazard is still required and was issued 08/26/2024.
- 6) N/A – there are no co-locatable structures within a 1-mile radius, see attachment II.
- 7) N/A – there are no co-locatable structures within a 1-mile radius, see attachment II.
- 8) Applicant requests tower & foundation drawings be a condition of the CUP approval. The estimated receipt is Q1 2025 and will be provided prior to the issuance of the building permit.
- 9) See engineering letter verifying reduced fall radius of 83'-6" which is the distance from the right-of-way to the tower center.



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- 10) Applicant requests the FCC ASR be a condition of the CUP approval. The estimated receipt is Q1 2025 and will be provided prior to the issuance of the building permit.
- 11) See letter of intent from Verizon Wireless.
- 12) Removal bond is intended to satisfy this requirement.

Thank you in advance for your time in reviewing our application and please do not hesitate to contact me via email or the number below with any questions or requests for further information.

Sincerely,

A handwritten signature in black ink that reads "Blair Ransom".

**Blair Ransom**

Site Development Agent *on behalf of The Towers, LLC*

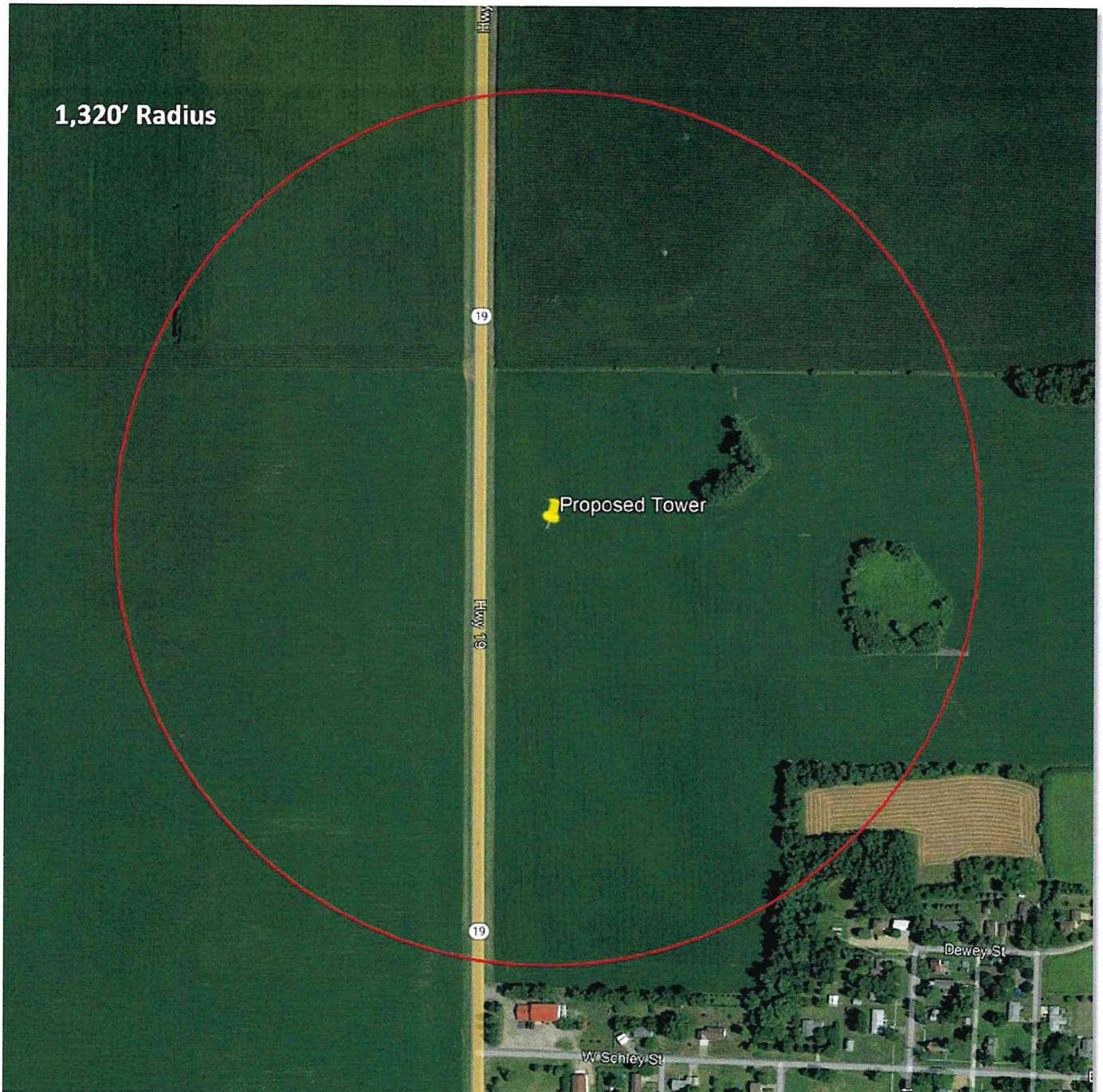
Cell: 612-875-1808

Email: [b.ransom@grahamredev.com](mailto:b.ransom@grahamredev.com)

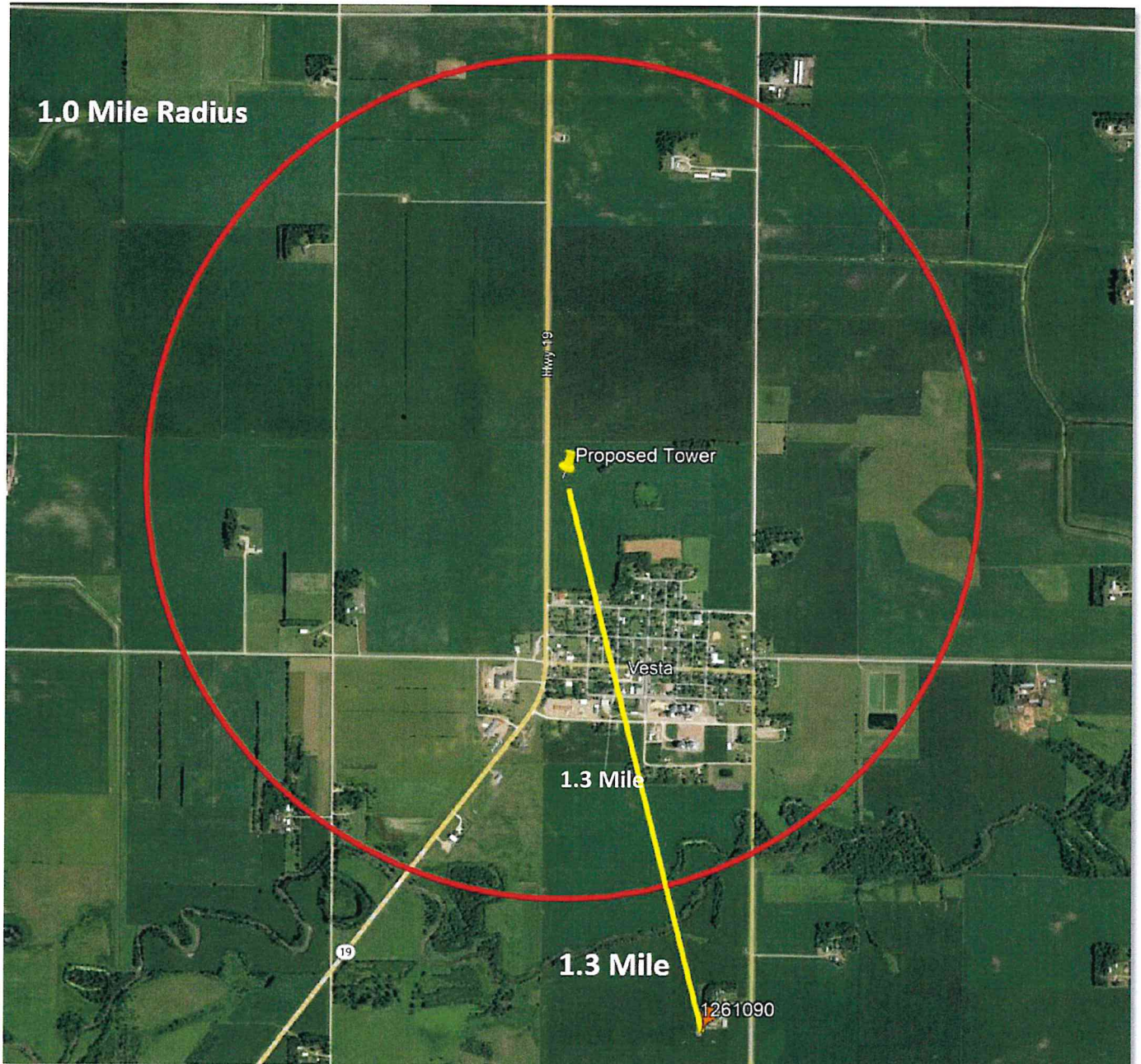


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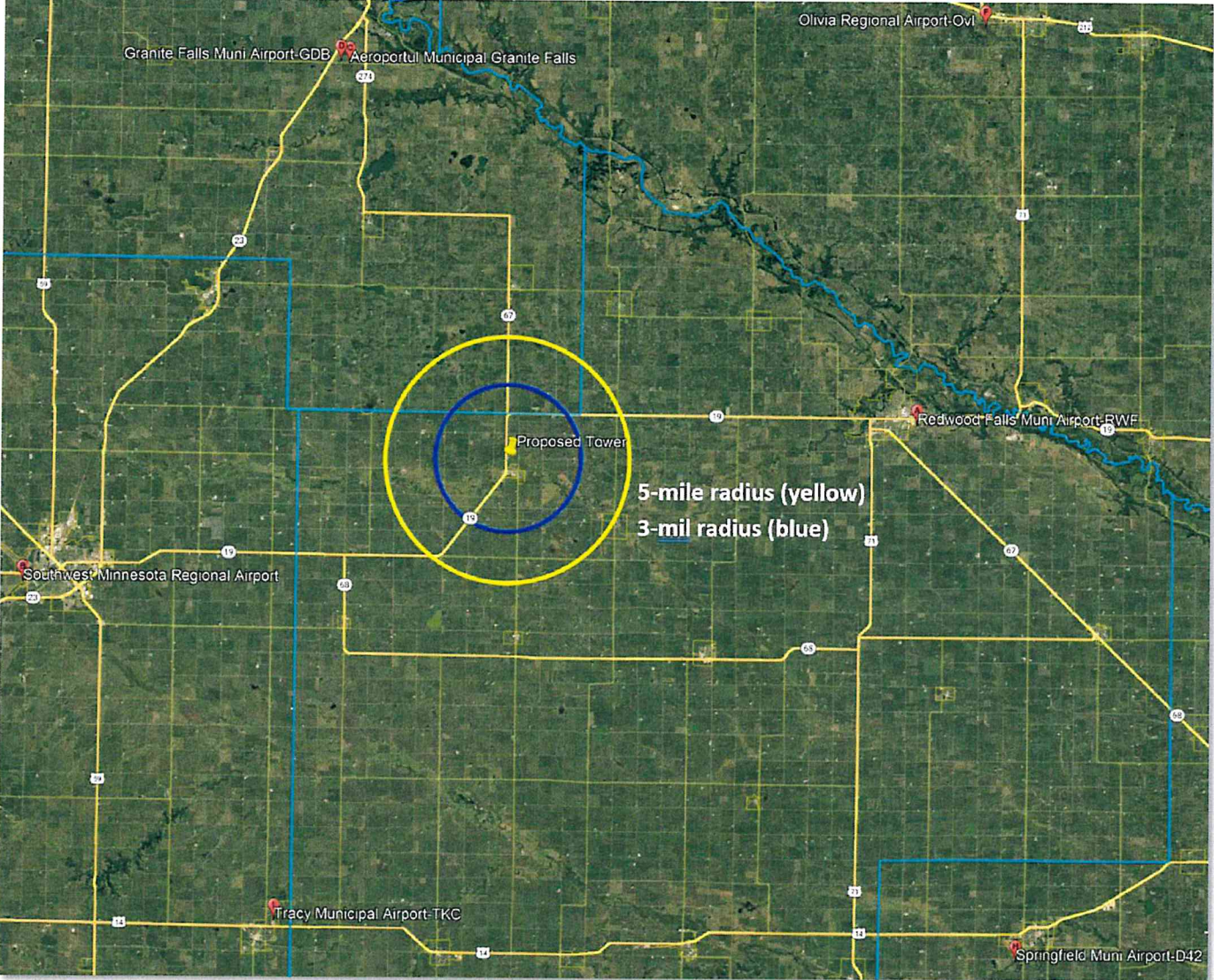
## ATTACHMENT I



## ATTACHMENT II



ATTACHMENT III





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2024-AGL-9465-OE

Issued Date: 08/26/2024

Network Regulatory  
 Cellco Partnership  
 5055 North Point Pkwy  
 NP2NE Network Engineering  
 Alpharetta, GA 30022

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower MN08 EAGLE VESTA  
 Location: Vesta, MN  
 Latitude: 44-30-51.28N NAD 83  
 Longitude: 95-25-15.40W  
 Heights: 1073 feet site elevation (SE)  
 259 feet above ground level (AGL)  
 1332 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Emissions from this site must be in compliance with the parameters set by collaboration between the FAA and telecommunications companies and reflected in the FAA 5G C band compatibility evaluation process (such as power, frequencies, and tilt angle). Operational use of this frequency band is not objectionable provided the Wireless Providers (WP) obtain and adhere to the parameters established by the FAA 5G C band compatibility evaluation process. **Failure to comply with this condition will void this determination of no hazard.**

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 M, Obstruction Marking and Lighting, a med-dual system-Chapters 4,8(M-Dual),&15.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Air Missions (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

**See attachment for additional condition(s) or information.**

This determination expires on 02/26/2026 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (817) 222-5323, or [Marla.Duchatellier@faa.gov](mailto:Marla.Duchatellier@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-AGL-9465-OE.

**Signature Control No: 626397471-631145734**  
Marla Duchatellier  
Technician

( DNE )

Attachment(s)  
Additional Information  
Frequency Data  
Map(s)

cc: FCC



## **Additional information for ASN 2024-AGL-9465-OE**

### **BASIS FOR DECISION**

Part 77 authorizes the FAA to evaluate a structure or object's potential electromagnetic effects on air navigation, communication facilities, and other surveillance systems. It also authorizes study of impact on arrival, departure, and en route procedures for aircraft operating under visual or instrument flight rules, as well as the impact on airport traffic capacity at existing public use airports. Broadcast in the 3.7 to 3.98 GHz frequency (5G C band) currently causes errors in certain aircraft radio altimeters and the FAA has determined they cannot be relied upon to perform their intended function when experiencing interference from wireless broadband operations in the 5G C band. The FAA has adopted Airworthiness Directives for all transport and commuter category aircraft equipped with radio altimeters that prohibit certain operations when in the presence of 5G C band.

This determination of no hazard is based upon those mitigations implemented by the FAA and operators of transport and commuter category aircraft, and helicopters operating in the vicinity of your proposed location. It is also based on telecommunication industry and FAA collaboration on acceptable power levels and other parameters as reflected in the FAA 5G C band evaluation process.

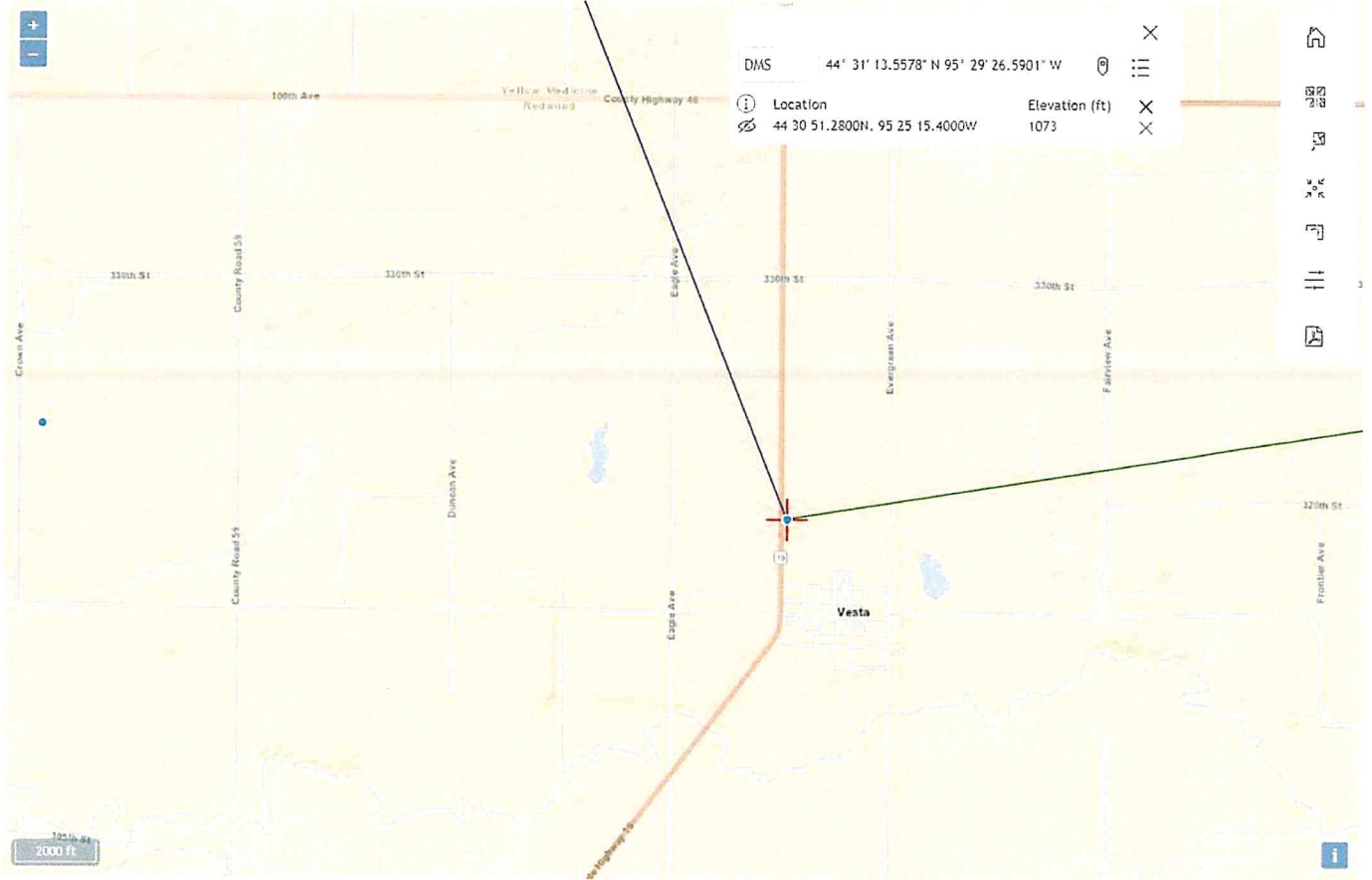
The FAA 5G C band compatibility evaluation is a data analytics system used by FAA to evaluate operational hazards related to aircraft design. The FAA 5G C band compatibility evaluation process refers to the process in which the telecommunication companies and the FAA have set parameters, such as power output, locations, frequencies, and tilt angles for antenna that mitigate the hazard to aviation. As the telecommunication companies and FAA refine the tools and methodology, the allowable frequencies and power levels may change in the FAA 5G C band compatibility evaluation process. Therefore, your proposal will not have a substantial adverse effect on the safe and efficient use of the navigable airspace by aircraft provided the equipment and emissions are in compliance with the parameters established through the FAA 5G C band compatibility evaluation process.

Any future changes that are not consistent with the parameters listed in the FAA 5G C band compatibility evaluation process will void this determination of no hazard.

**Frequency Data for ASN 2024-AGL-9465-OE**

<b>LOW FREQUENCY</b>	<b>HIGH FREQUENCY</b>	<b>FREQUENCY UNIT</b>	<b>ERP</b>	<b>ERP UNIT</b>
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	2000	W
614	698	MHz	1000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W
3700	3980	MHz	3280	W

# Verified Map for ASN 2024-AGL-9465-OE



TOPO Map for ASN 2024-AGL-9465-OE





# MN08 EAGLE VESTA NEW BUILD

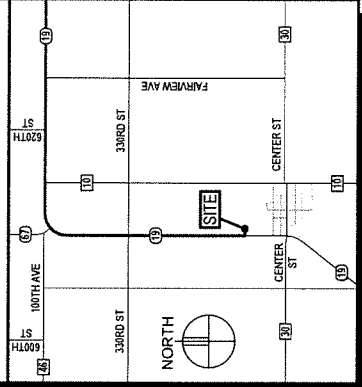
## PROJECT INFORMATION

SITE NAME: MN08 EAGLE VESTA  
 HIGHWAY 19 VESTA, MN 56292  
 COUNTY: REDWOOD  
 LATITUDE: N 44° 30' 51.28"  
 LONGITUDE: W 95° 25' 15.40"  
 DRAWING BASED ON: 04-23-24  
 RFDS DATED: 1B  
 CONSTRUCTION TYPE: 100' X 100' = 10,000 S.F.  
 SITE AREA:

## SHEET INDEX

SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, TOWER ELEVATION & SHEET INDEX
A-1	SITE PLAN, DETAIL INDEX & PHOTO
A-2	ENLARGED SITE PLAN
A-3	ANTENNA AND COAX KEY, CABLE BRIDGE PLAN & NOTES
A-4	OUTLINE SPECIFICATIONS
G-1	GROUNDING & UTILITY NOTES
G-2	GROUNDING PLAN & GROUNDING DETAIL INDEX
U-1	SITE UTILITY PLANS & NOTES
-	SURVEY (1 SHEET)

## VICINITY MAP



## LOCATION SCAN



MAP DATA ©2023 GOOGLE

## ISSUE SUMMARY

REV	DESCRIPTION	SHEET/DETAIL
A	ISSUED FOR REVIEW 04-18-24	ALL
B	ISSUED FOR OWNER SIGNOFF 05-03-24	ALL

## DEPARTMENTAL APPROVALS

JOB TITLE	NAME	DATE
RF ENGINEER	RUSSELL WINTLE	04-23-24
OPERATIONS MANAGER		
CONSTRUCTION ENGINEER	BRIAN NELSON	04-25-24

## LESSOR / LICENSOR APPROVAL

SIGNATURE	PRINTED NAME	DATE

LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW  
 NO CHANGES  CHANGES NEEDED. SEE COMMENTS.

## CONTACTS

LESSOR / LICENSOR: JIM P. DUBOIS  
 3229 E MINNEHAHA PKWY.  
 MINNEAPOLIS, MN 55406  
 (612) 308-2204

LESSEE: VERIZON WIRELESS  
 10801 BUSH LAKE ROAD  
 MINNEAPOLIS, MN 55448  
 CONSTRUCTION DEPT (651) 946-4700

POWER UTILITY COMPANY CONTACT: REDWOOD ELECTRIC COOP  
 10000 WINDY HOLLOW RD  
 CLEMENTS, MN 56334  
 CHAD NELSON (507) 692-2214

TELECOM UTILITY COMPANY CONTACT: T.B.D.

DESIGNER: DESIGN 1 OF EDEN PRAIRIE  
 9973 VALLEY VIEW ROAD  
 EDEN PRAIRIE, MN 55344  
 (952) 903-9299

SURVEYOR: WIDSETH  
 610 FILLMORE STREET - PO BOX 1028  
 ALEXANDRIA, MN 56008-1028  
 320-762-8149

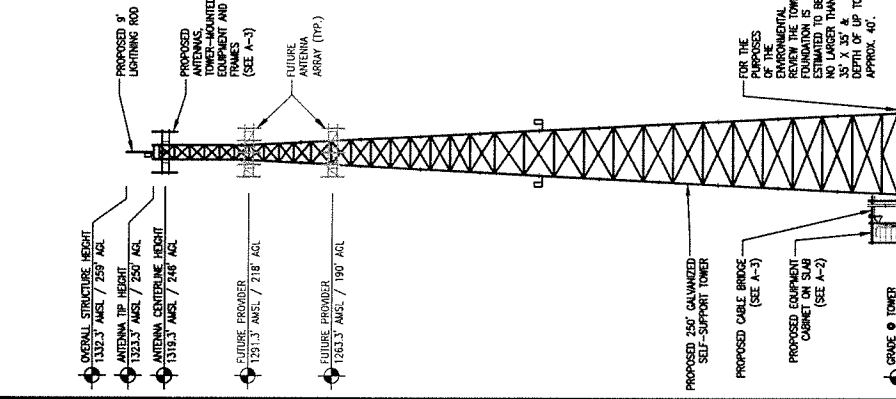
STRUCTURAL ENGINEER: T.B.D.

GEOTECHNICAL ENGINEER: T.B.D.

NOTES:  
 1. THESE DRAWINGS DO NOT CONSTITUTE A WARRANTY EXPRESSED OR IMPLIED, OF THE ACCURACY OF THE STRUCTURAL ANALYSES AND THE PERFORMANCE OF THE COMPLETED CONSTRUCTION AS SHOWN ON THESE DRAWINGS.  
 2. NO STRUCTURAL ANALYSES, TESTS, LOADS, HEIGHTS OR FOUNDATION HAVE BEEN PERFORMED AS PART OF THESE DRAWINGS. THE STRUCTURAL ANALYSIS FOR THE TOWER AND FOUNDATION ARE BY THE TOWER SUPPLIER AND SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MINNESOTA.  
 3. PLEASE COORDINATE ANY STRUCTURAL CONCERNS/QUESTIONS OR ANY LOADS/MODIFICATIONS TO THE CONSULTANT WHO AUTHORIZED THE ANALYSIS AND NOTIFY DESIGN 1 IMMEDIATELY OF THE ISSUE.  
 4. OTHER FOUNDATION, EQUIPMENT SLAB, GENERATOR FOUNDATION, AND TOWER FOUNDATION SHALL BE DESIGNED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE DESIGNER.

## TOWER ELEVATION

NOTES:  
 1. TOWER TO BE ERECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE.  
 2. DISCREPANCIES BETWEEN TOWER DRAWINGS AND DESIGNER DRAWINGS TO BE REPORTED TO VERIZON WIRELESS AND THE DESIGNER IMMEDIATELY.  
 3. FOUNDATION TO BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MINNESOTA FOR GENERAL DYNAMIC PURPOSES ONLY. DO NOT SCALE.  
 4. THE STRUCTURAL DESIGN FOR THE MOUNTS (BY OTHERS) SHALL BE PER THE VERIZON NETWORK STANDARD NSTD-445. ALL LOADING AND DESIGN SHALL BE PER THE 10A-22Z-H STANDARD.



## EAST ELEVATION

SCALE: 1" = 40'-0"



I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *[Signature]*  
 NAME: Joshua Herzog  
 LICENSE NUMBER: 42392  
 DATE: 05-03-2024  
 HE #: 24112



PROJECT: VZ-00210289\_C  
 LOC. CODE: 734009

MN08  
 EAGLE VESTA

HIGHWAY 19  
 VESTA, MN 56292

SHEET CONTENTS:  
 CONTRACTS  
 SHEET SUMMARY  
 DEPARTMENTAL APPROVALS  
 LESSOR APPROVAL  
 PROJECT INFORMATION  
 AREA & VICINITY MAP'S  
 GENERAL NOTES

DRAWN BY: JP
CHECKED BY: TRB
REV. A: 04-18-24
REV. B: 05-03-24

T-1





I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Jordan Herzog*  
 NAME: Jordan Herzog  
 DATE: 05-03-2024  
 LICENSE NUMBER: 42392  
 REG. # 241212



PROJECT  
 VZ-00210289.C  
 LOC. CODE: 734309

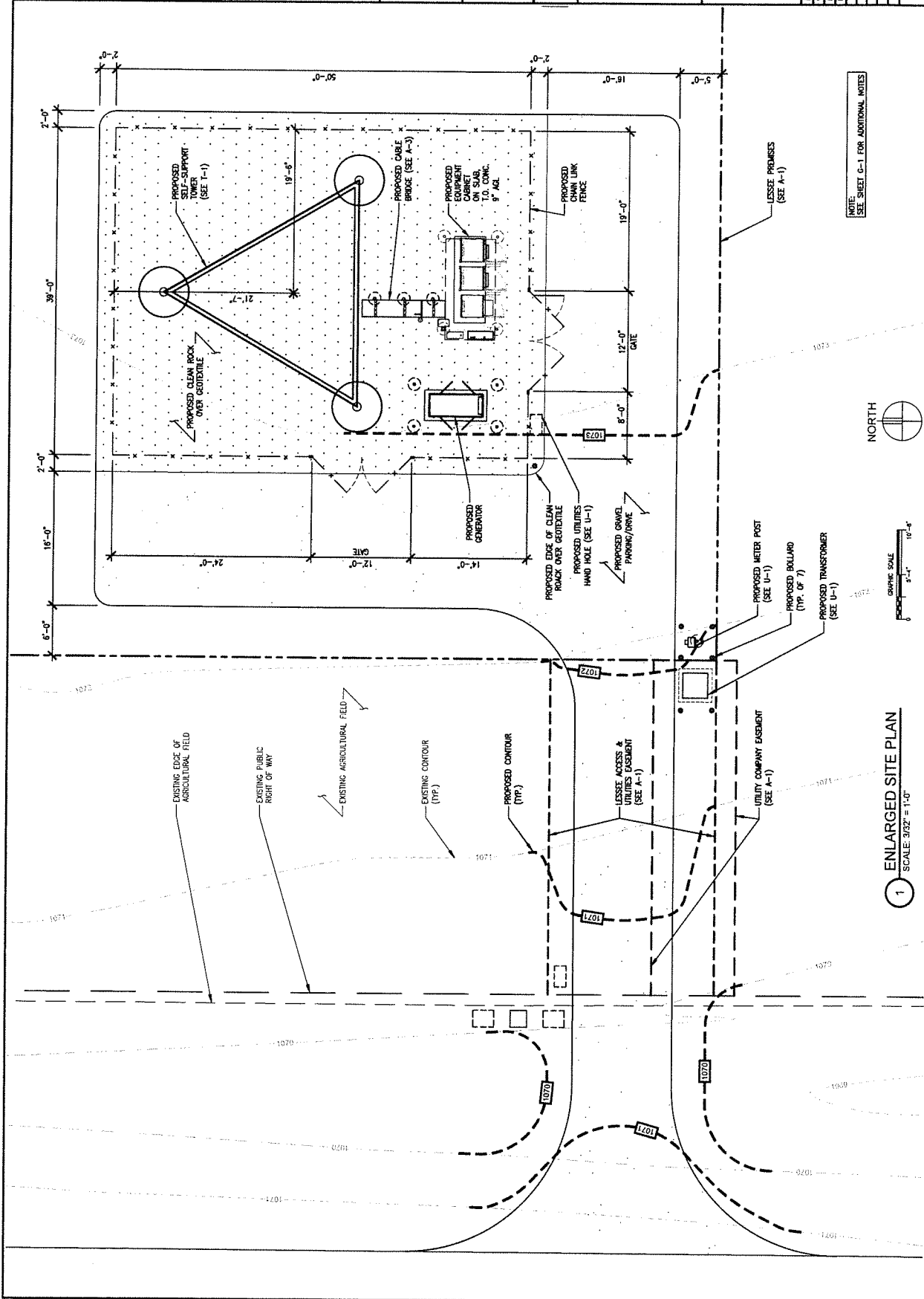
MN08  
 EAGLE VESTA

HIGHWAY 19  
 VESTA, MN 56292

SHEET CONTENTS:  
 ENLARGED SITE PLAN

DRAWN BY:	JP
CHECKED BY:	TRB
REV. A	04-19-24
REV. B	05-03-24

A-2



1 ENLARGED SITE PLAN  
 SCALE: 1" = 1'-0"



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *[Signature]*  
 NAME: Joshua Hez209  
 DATE: 05-02-2024  
 LICENSE NUMBER: 42392  
 FE # 241212



PROJECT: VZ-00210289 C  
 LOC. CODE: 734309

MN08  
 EAGLE VESTA

HIGHWAY 19  
 VESTA, MN 56292

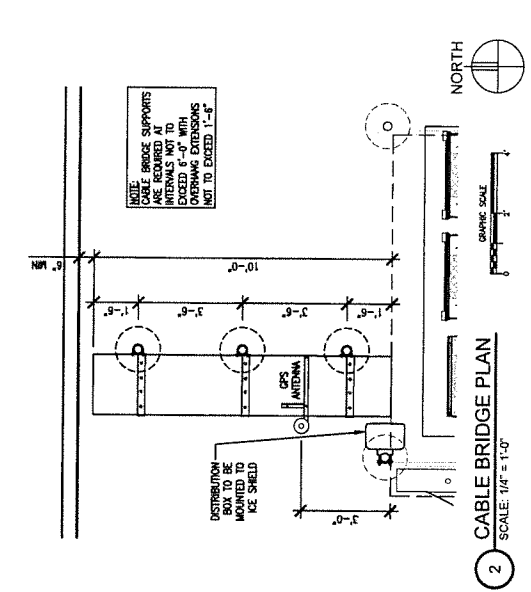
SHEET CONTENTS:  
 PROPOSED KEYS  
 CABLE BRIDGE PLAN  
 ANTENNA MOUNTING DETAIL

DRAWN BY:	J.P.
CHECKED BY:	TRB
REV. A:	04-19-24
REV. B:	05-03-24

A-3

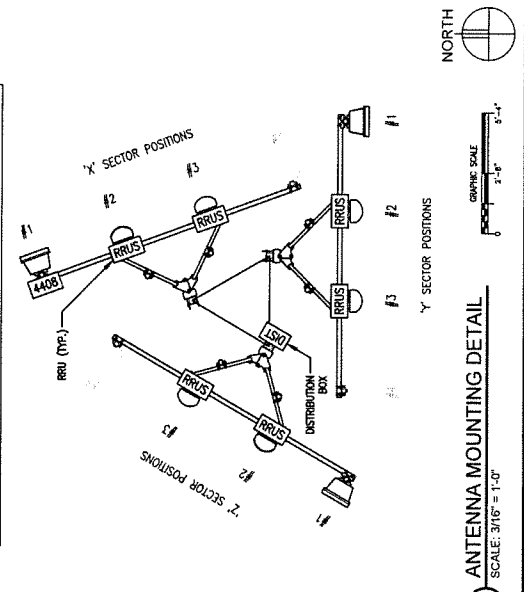
ANTENNA KEY				EQUIPMENT KEY			
AZIMUTH	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	RRU PORT	MECH
70	1.0	L-SUB8	1	ERISSON	4490	1	0
70	2.1	TX/RX1	1	JMA	4890	2	0
70	2.2	TX/RX2	1	AMS	4890	3	0
70	2.3	TX/RX3	1	AMS	4890	4	0
70	2.4	TX/RX4	1	AMS	4890	5	0
70	2.5	TX/RX5	1	AMS	4890	6	0
70	2.6	TX/RX6	1	AMS	4890	7	0
70	3.1	TX/RX1	1	JMA	4890	2	0
70	3.2	TX/RX2	1	AMS	4890	3	0
70	3.3	TX/RX3	1	AMS	4890	4	0
70	3.4	TX/RX4	1	AMS	4890	5	0
70	3.5	TX/RX5	1	AMS	4890	6	0
70	3.6	TX/RX6	1	AMS	4890	7	0
180	1.0	L-SUB8	1	ERISSON	4490	1	0
180	2.1	TX/RX1	1	JMA	4890	2	0
180	2.2	TX/RX2	1	AMS	4890	3	0
180	2.3	TX/RX3	1	AMS	4890	4	0
180	2.4	TX/RX4	1	AMS	4890	5	0
180	2.5	TX/RX5	1	AMS	4890	6	0
180	2.6	TX/RX6	1	AMS	4890	7	0
180	3.1	TX/RX1	1	JMA	4890	2	0
180	3.2	TX/RX2	1	AMS	4890	3	0
180	3.3	TX/RX3	1	AMS	4890	4	0
180	3.4	TX/RX4	1	AMS	4890	5	0
180	3.5	TX/RX5	1	AMS	4890	6	0
180	3.6	TX/RX6	1	AMS	4890	7	0
300	1.0	L-SUB8	1	ERISSON	4490	1	0
300	2.1	TX/RX1	1	JMA	4890	2	0
300	2.2	TX/RX2	1	AMS	4890	3	0
300	2.3	TX/RX3	1	AMS	4890	4	0
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300	2.5	TX/RX5	1	AMS	4890	6	0
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300	3.1	TX/RX1	1	JMA	4890	2	0
300	3.2	TX/RX2	1	AMS	4890	3	0
300	3.3	TX/RX3	1	AMS	4890	4	0
300	3.4	TX/RX4	1	AMS	4890	5	0
300	3.5	TX/RX5	1	AMS	4890	6	0
300	3.6	TX/RX6	1	AMS	4890	7	0

ADDITIONAL:  
 (2) DISTRIBUTION BOX, MODEL R70C-6827-FF-48 (1 ON TOWER & 1 AT CABINET SLAB)  
 (3) COMMSCOPE HYBRID JUMPER, MODEL HT110-SSB1-G-19  
 (4) ANDREW COAX JUMPER, MODEL UFA-50A, 1/2" FOM DIELECTRIC (RRU TO ANTENNA)  
 (5) POWERSHIFT EQUIPMENT, DC-DC UP-COMVERTER MODULE (IN CABINET)



2 CABLE BRIDGE PLAN  
 SCALE: 1/4" = 1'-0"

NOTES:  
 1) T-FRAMES & ANTENNA MOUNTING PIPES BY TOWER MANUFACTURER.  
 2) CONTRACTOR TO ENSURE MOUNT & ANTENNA ARRAY DOES NOT IMPIDE SAFETY CLIMB/CABLES.  
 3) TIE BACKS NOT SHOWN FOR CLARITY.



1 ANTENNA MOUNTING DETAIL  
 SCALE: 3/16" = 1'-0"

3 PROPOSED KEYS





HERZOG ENGINEERING  
133481<sup>st</sup> AVE N.E.  
SPRING LAKE PARK, MN 55442  
(612) 844-1234  
WWW.HERZOGENGINEERING.COM

I HEREBY CERTIFY THAT THIS PROJECT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMPLIES WITH ALL THE LAWS OF THE STATE OF MINNESOTA.  
SIGNATURE: *[Signature]*  
NAME: Justina Herzig  
DATE: 05-20-2024  
LICENSE NUMBER: 42392  
HE # 24122



9973 VALLEY VIEW RD  
ECHOHUNTON, MN 55349  
(952) 463-2929  
WWW.DESIGNFCOM

PROJECT  
VZ-00210248 C  
LOC. CODE: 734309

MN08  
EAGLE VESTA

HIGHWAY 19  
VESTA, MN 56292

SHEET CONTENTS:  
OUTLINE SPECIFICATIONS

DRAWN BY:	JPH
CHECKED BY:	JPH
DATE:	04-18-24
REV. #	02-03-24

A-4

**OWNER-FURNISHED EQUIPMENT & FEES**

CONTRACTOR TO PROVIDE MATERIALS, LABOR, TOOLS, TRANSPORTATION, SUPERVISION, ETC. TO FULLY EXECUTE WORK. WORK REQUIREMENTS ARE DETAILED IN THE DRAWINGS AND SPECIFICATIONS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

**SCORE OF WORK**  
CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, TOOLS, TRANSPORTATION, SUPERVISION, ETC. TO FULLY EXECUTE WORK. WORK REQUIREMENTS ARE DETAILED IN THE DRAWINGS AND SPECIFICATIONS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

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**EQUIPMENT**  
The Designer/E.O.R. makes no warranty, expressed or implied, on the structural adequacy for proprietary brackets, clips & parts from a manufacturer.

**METALS**

05 0000 METALS  
Contractor will furnish and install steel shapes and fabricated steel items not specifically furnished by Owner, and install Owner-furnished materials. Fabrication and erection of steel items per AWS standards. Welding shall conform to AWS standards. Fabrications shall be shop welded and polished before delivery to site.

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**WOOD & PLASTICS**

N/A

N/A

N/A

N/A

**INTERNAL & EXTERNAL**

N/A

N/A

N/A

N/A

**DOORS AND HARDWARE**

N/A

N/A

N/A

N/A

**FINISHES**

09 0000 PAINTING  
Contractor shall provide materials and labor for all painting indicated in the designer documents and shall touch-up construction related scuffs & scratches with appropriate paint.

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**SECON CONSTRUCTION**

13 1200 CABLE BRIDGE, CANOPY, & ICE SHIELDS  
Contractor shall provide materials and labor for all painting indicated in the drawings and install Wires Standard Details.  
Contractor shall furnish and install materials for the Ice Shields as indicated on the Drawings & Verizon Wires Standard Details.

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Contractor shall provide materials and labor for all painting indicated in the drawings and install Wires Standard Details.  
Contractor shall furnish and install materials for the Ice Shields as indicated on the Drawings & Verizon Wires Standard Details.

**13 1400 ANTENNA INSTALL**

Contractor shall install Owner's antennas and feed lines during erecting.  
Contractor shall test and certify feed lines per current VZW standards.

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Contractor shall test and certify feed lines per current VZW standards.

**13 3423 TRANSPORT AND SET EQUIPMENT CABINETS/GENERATOR**

Contractor shall provide cranes(4) and/or truck for transporting, setting and erecting Equipment Cabinets/Generator per RFQ. Contractor shall install items shipped loose with the Equipment Cabinets/Generator.

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**13 3613 TRANSPORT AND ERECT TOWER/ANTENNA MOUNTS**

Contractor shall schedule delivery of Owner-furnished Tower, and provide cranes for unloading and erecting. Contractor to install antenna mounts. Contractor shall ensure the existence of a 3/8" cable safety chain (100/500 or equal) on the tower.

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**MECHANICAL**

15 4000 PLUMBING  
N/A

15 5000 HVAC  
N/A

16 0000 LIGHTING AND ELECTRICAL  
Contractor shall provide materials and labor for all lighting indicated in the drawings and install Wires Standard Details.

16 0000 LIGHTING AND ELECTRICAL  
Contractor shall provide materials and labor for all lighting indicated in the drawings and install Wires Standard Details.

**CONCRETE**

03 1000 CONCRETE FORMWORK  
Concrete forms shall be dimensional lumber, modular, or steel.

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**03 8000 TOWER FOUNDATION**

Contractor shall furnish and install materials for tower foundation concrete and reinforcing to be per tower manufacturer's specification. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

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**03 8001 EXTERIOR PROTECTION**

N/A

N/A

N/A

N/A

**03 8000 EQUIPMENT CABINETS/GENERATOR FOUNDATION**

Contractor shall furnish and install materials for equipment cabinets/generator foundation. Concrete shall be 6% air entrained and 4,000 psi at 28 days. All reinforcing steel is to be Grade 60 (ASTM 615). Anchor bolts are furnished by Contractor. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

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**MASONRY**

N/A

N/A

N/A

N/A

**GENERAL CONDITIONS**

00 0001 PERMITS  
Contractor Permit shall be obtained by, or in the name of, Verizon Wireless, to be submitted referred to us as UMGEL. Other permits shall be obtained by the Contractor.

00 0002 SURVEY FEES  
Survey shall be furnished by the Designer. Layout Staking shall be coordinated with the Surveyor per Request for Quote, (RFQ).

01 0010 INSURANCE & BONDS  
Contractor shall furnish insurance certificates for themselves and subcontractors. Contractor will provide any required bonding. Contractor agrees to warranty the project for (1) one year after completion.

01 0400 SUPERVISION & COORDINATION  
Contractor shall provide supervision throughout the Project, coordinating the work of the Subcontractors, and delivery & installation of Owner-furnished items. Contractor shall manage & coordinate all third-party utilities. Subcontractors shall comply with all applicable safety, state and/or federal codes, including OSHA.

01 0600 TESTING  
Contractor shall be responsible for providing agencies with sufficient notice to arrange for Test Samples (i.e.: Concrete Cylinders), and for Special Inspections.

01 2000 MEETINGS  
Contractor shall make themselves aware of, and attend, meetings with the Owner and/or other project participants, and a Pre-Construction Meeting at all parties involved, prior to the start of construction.

01 5100 TEMPORARY UTILITIES  
Contractor shall maintain the job site in a clean and orderly fashion, providing necessary sanitary facilities, waste disposal, and security (fence area or trailer needed).

01 5300 EQUIPMENT RENTAL  
Contractor shall furnish equipment necessary to expedite work.

01 5900 FIELD OFFICES & SHEDS  
Contractor shall provide security (fence area or trailer needed) for locks and materials that remain overnight on site.

01 7000 CLEAN UP & CLOSE OUT  
Contractor shall clean up the Site to the satisfaction of Owner. Contractor shall complete the items listed on the Owner's Punch List, and shall sign and return the List to the Owner. Contractor shall maintain a set of drawings during the job, on which changes shall be noted in red ink. A full set of redefined drawings (As-Built) are to be given to the Designer at Job completion and submit construction work complete memo to Construction Engineer.

01 8000 TRUCKS & MILEAGE  
Contractor shall provide transportation for their own personnel.

01 8300 TRAVEL TIME & PER DIEM  
Contractor shall provide room and board for their own personnel, and reasonable time for traveling to & from job site.

01 8300 TAXES  
Contractor shall pay sales and/or use tax on materials and taxable services.

01 1000 SITE PREPARATION  
Contractor shall provide a 'START' document. Contractor will immediately report to Designer if any environmental considerations arise. Site shall be scraped to a depth of 3" minimum to remove vegetative matter, and screenings shall be stockpiled on site. Excess material to be disposed of in accordance with RFQ.

02 1100 ROAD IMPROVEMENT & CONSTRUCTION  
Contractor shall furnish materials for, and install, a twelve foot (12') wide gravel roadway from the road access to the work area, for truck and crane access to site. Base course shall be 6" deep, 3"+ crushed rock, topped with 3" deep, 1/2" crushed rock, topped with 2" deep Class 5 aggregate. (3/4" minus with binder) or 2" deep, 1/2" crushed rock, topped with 2" deep Class 5 aggregate. Contractor shall obtain city, county, state and/or federal approvals for road approach and subvert work within or adjacent to right-of ways. Road shall be graded smooth, and edges dressed, at job completion.

02 2000 EARTHWORK & EXCAVATION  
Excavation material shall be used for surface grading as necessary; excess to be stockpiled on site. Excess material to be disposed of in accordance with RFQ. For excess material, contractor shall utilize sock or sediment filter for filtering of water discharge.

02 3000 PAVING & SURFACING  
Gravel paving shall be as described in 02 1100.







I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *Joshua Herzog*  
 NAME: Joshua Herzog  
 DATE: 05-03-2024  
 LICENSE NUMBER: 42392  
 HE # 24112



PROJECT: VZ-002102893C  
 LOC. CODE: 734309

MN08  
 EAGLE VESTA

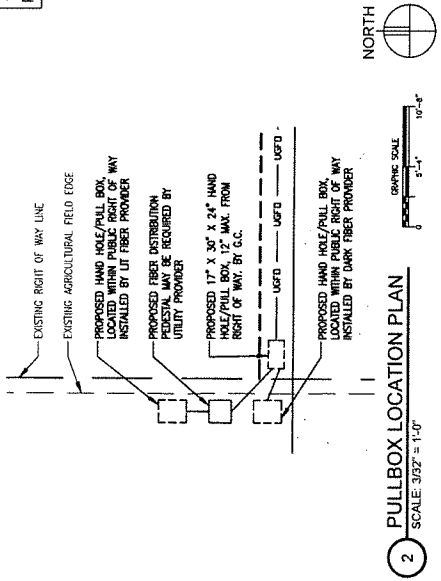
HIGHWAY 19  
 VESTA, MN 55292

SHEET CONTENTS:  
 SITE UTILITY PLAN  
 PULLBOX LOCATION PLAN

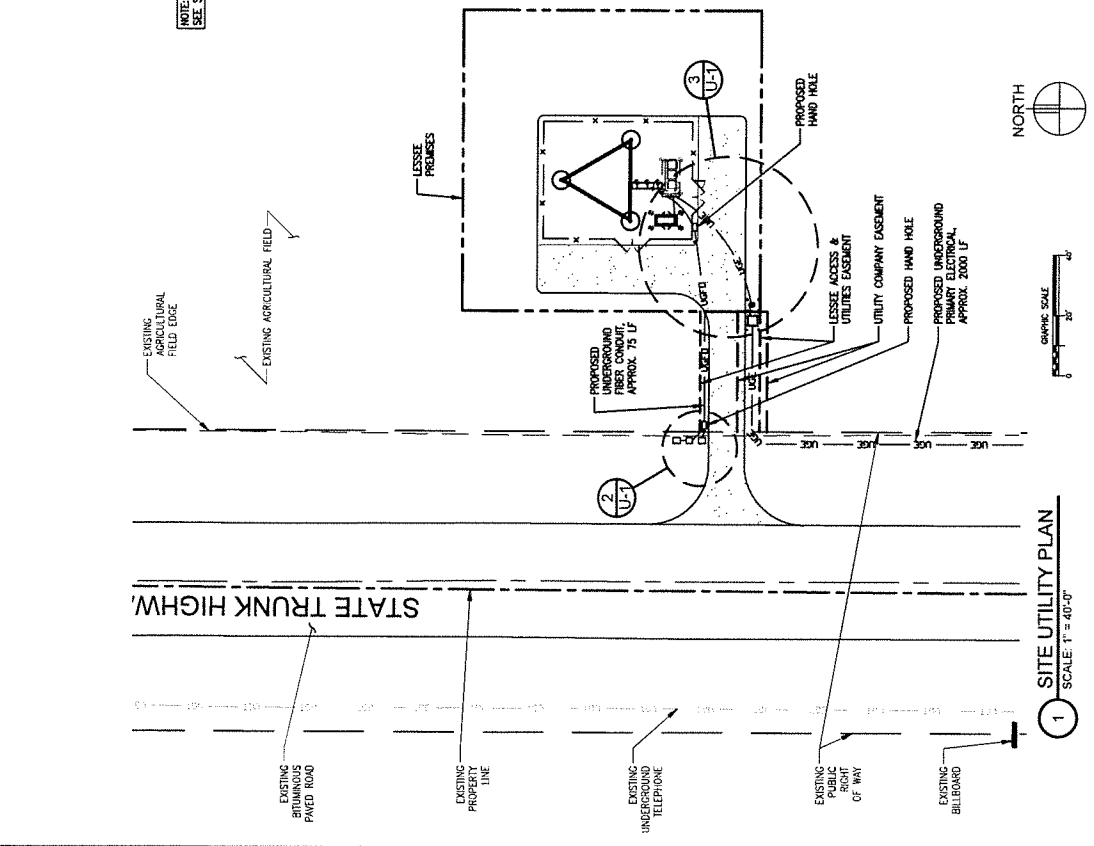
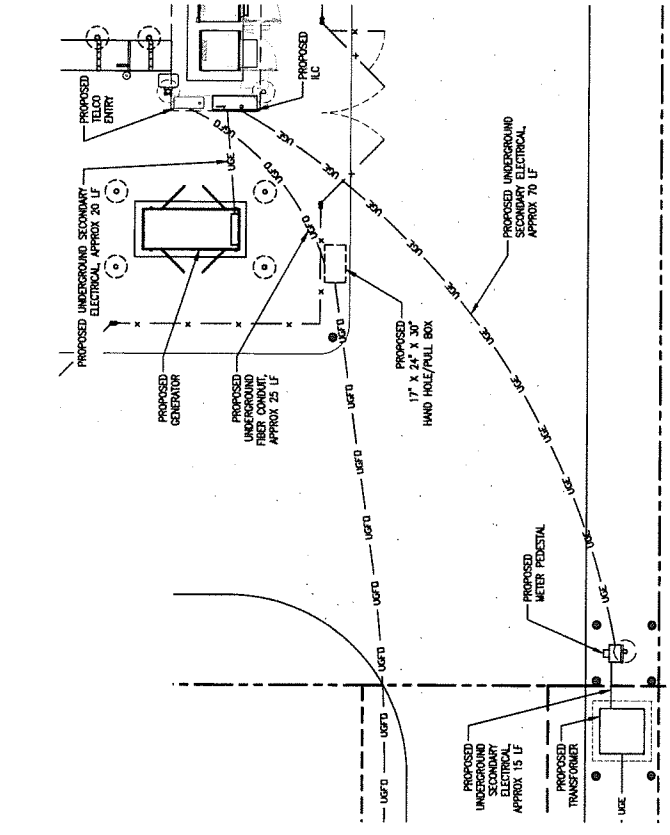
DRAWN BY: JF  
 CHECKED BY: TRB  
 REV A: 04-19-24  
 REV B: 05-03-24

U-1

POWER TYPE:  
 120/240V, SINGLE  
 PHASE, 200 AMPS



NOTE:  
 SEE SHEET G-1 FOR ADDITIONAL NOTES



STATE TRUNK HIGHWAY



October 9, 2024

Travis Rosenwald  
Design 1  
9973 Valley View Road  
Eden Prairie, MN 55344

RE: Proposed 250' Sabre Self-Supporting Tower for MN08 Eagle Vesta, MN

Dear Mr. Rosenwald,

Upon receipt of order, we propose to design a tower for the above referenced project for a Basic Wind Speed of 111 mph and 50 mph + 1" radial ice, Risk Category II, Exposure Category C, and Topographic Category 1 in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-H, "Structural Standard for Antenna Supporting Structures, Antennas and Small Wind Turbine Supporting Structures".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors. Therefore, it is highly unlikely that the tower will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within one or more of the tower members in the upper portion. This would result in a buckling failure mode, where the loaded member would bend beyond its elastic limit (beyond the point where the member would return to its original shape upon removal of the wind load).

Therefore, it is likely that the overall effect of such an extreme wind event would be localized buckling of a tower section. Assuming that the wind pressure profile is similar to that used to design the tower, the tower is most likely to buckle at the location of the highest combined stress ratio in the upper portion of the tower. This would result in the portion of the tower above the failure location "folding over" onto the portion of the tower below the failure location.

*Please note that this letter only applies to the above referenced tower designed and manufactured by Sabre Industries.* In the unlikely event of total separation, this would result in a fall radius within 83'-6" at ground level. **PROFESSIONAL ENGINEER**

Sincerely,

Thomas T. Wilson, P.E.  
Design Engineer

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the Laws of the State of Minnesota.

Print Name **THOMAS T. WILSON**

Signature 

Date 10/9/2024 License #**60302**

TOWER / STRUCTURE / ANTENNA/ EQUIPMENT REMOVAL BOND

Bond #108026591

Site Name: MN08 Eagle Vesta

Site Location: On Highway 19, approximately 0.25 miles north of the intersection of Highway 19 and West Schley Street, Vesta, MN 56292

Verizon Project #: 17163720

Verizon Location Code / MDG Location ID: 734309

KNOW ALL MEN BY THESE PRESENTS, THAT, Alltel Corporation, One Verizon Way, Basking Ridge, NJ, 07920, as Principal, and Travelers Casualty and Surety Company of America a corporation duly organized under the laws of the State of Connecticut, as Surety, are held and firmly bound unto Redwood County, 403 South Mill Street, Redwood Falls, MN 56283, as Obligee, in the sum of One Hundred Forty-Four Thousand Nine Hundred Eight-Two and 45/100 (\$144,982.45) lawful money of the United States, for the payment of which, well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents, the liability of the Surety being limited to the penal sum of this bond regardless of the number of years the bond is in effect.

WHEREAS the Principal has entered into a written agreement with the property owner for the placement of a tower(s), structure(s), antenna(s), and/or equipment furnishing telephone, television or other electronic media service, which agreement sets forth the terms and conditions which govern the use of such tower(s), structure(s), antenna(s), and/or equipment and which agreement is hereby specifically referred to and made part hereof, and

WHEREAS, the Obligee requires the submission of a bond guaranteeing the maintenance, replacement, removal or relocation of said tower(s), structure(s), antenna(s), and/or equipment.

NOW THEREFORE, the condition of this obligation is such, that if the above bounden Principal shall perform in accordance with the aforesaid ordinance and/or agreement, and indemnify the Obligee against all loss caused by Principal's breach of any ordinance or agreement relating to maintenance, replacement, removal or relocation of a tower(s), structure(s), antenna(s), and/or equipment, then this obligation shall be void, otherwise to remain in full force and effect unless cancelled as set forth below.

THIS BOND may be cancelled by Surety by giving thirty (30) days written notice to the Obligee by certified mail. Such cancellation shall not affect any liability the Surety may have or incurred under this bond prior to the effective date of the termination. Provided that no action, suit or proceeding shall be maintained against the Surety on this bond unless action is brought within twelve (12) months of the cancellation date of this bond.

THIS BOND signed, sealed, dated on the 18<sup>th</sup> day of September, 2024. This bond is effective the 18<sup>th</sup> day of September, 2024.

**Alltel Corporation**

Principal

By: 

**Travelers Casualty and Surety Company of America**

Surety

By: 

**Brittany D. Stuckel, Attorney-In-Fact**

## CONSTRUCTION PROPOSAL

**FROM:**  
DESIGN 1 OF EDEN PRAIRIE  
9973 VALLEY VIEW ROAD  
EDEN PRAIRIE, MN 55344

**DATE:** 9/10/2024

**PHONE:** 952-903-9299

**TO:**  
VERIZON WIRELESS  
10801 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438

**PROJECT:** MN08 EAGLE VEST  
**TYPE:** DECOM SITE  
RESTORE SITE

GENERAL CONSTRUCTION DESCRIPTION	TOTALS
REMOVAL OF ROAD, COMPOUND ROCK AND CULVERT	\$35,282.50
REMOVAL OF FENCE, ICE BRIDGE POLES	\$6,000
REMOVAL AND DISPOSAL OF 250' SS TOWER AND ASSOCIATED ANTENNAS AND LIGHTING	\$36,025
REMOVAL TOWER CONCRETE 4' BELOW GRADE	\$4,214
REMOVAL OF SHELTER/CABINET CONCRETE	\$1,150
REMOVAL OF UNDERGROUND UTILITIES	\$8,700
REMOVAL OF CARRIER EQUIPMENT	\$8,500
RESTORE TO PRE CONDITION WITH DIRT AND HYDRO SEED	\$31,931
CONTINGENCIES	\$13,180.45
<b>SUBTOTAL</b>	<b>\$144,982.45</b>
	-
<b>TOTAL</b>	<b>144,982.45</b>





October 9, 2024

Redwood County Environmental Office  
403 South Mill Street  
Redwood Falls, MN 56283  
Attn: Jeanette Pidde

**RE: Proposed Wireless Communications Facility  
Site Parcel: 72-016-1020  
(VZW Ref. "MN08 Eagle Vesta")**

Dear Ms. Pidde:

Pursuant to the § 153.381.B.11 of the Redwood County Land Usage Ordinance the following statement is acknowledged to be true:

Verizon Wireless and its successors will commit to shared use of the tower if and when additional users agree in writing to meet reasonable terms and conditions for shared use.

Sincerely,

Amber Johnson

Print Name: Amber Johnson

Title: Cslt-RE/Regulatory

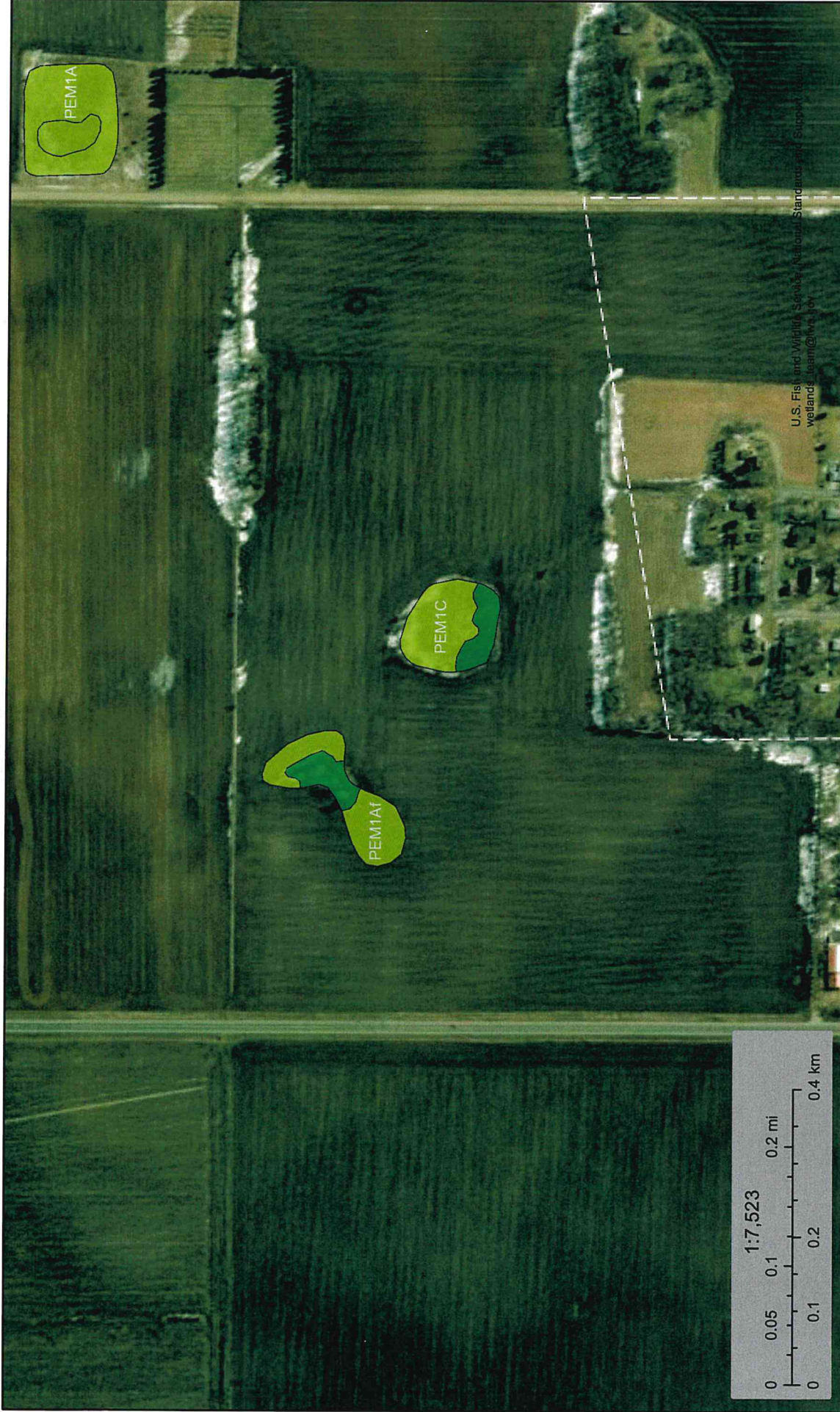
Date: 10/08/2024



U.S. Fish and Wildlife Service

# National Wetlands Inventory

## Verizon Tower



This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

October 11, 2024

### Wetlands

-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Other
-  Riverine





ASR Application Search

# Application A1286345

### Application Detail

File Number	A1286345	Constructed	
Registration Number	1329063	Dismantled	
NEPA		EMI	No

### Application Information

Status	Granted	Date Received	10/08/2024
Purpose	Amendment	Entered	10/08/2024
Mode	Interactive		

### Antenna Structure

Structure Type LTOWER - Lattice Tower

#### Location (in NAD83 Coordinates)

Lat/Long	44-30-51.2 N 095-25-15.4 W	Address	025mi south 380 W Schley St (17163720)
City, State	Vesta , MN		
Zip	56292	County	REDWOOD
Center of AM Array		Position of Tower in Array	

#### Heights (meters)

Elevation of Site Above Mean Sea Level	327.3	Overall Height Above Ground (AGL)	78.9
Overall Height Above Mean Sea Level	406.2	Overall Height Above Ground w/o Appurtenances	76.2

#### Proposed Marking and/or Lighting

FAA Style E

#### FAA Notification

FAA Study	2024-AGL-9465-OE	FAA Issue Date	08/26/2024
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### Owner & Contact Information

FRN	0002942159	Owner Entity Type	Corporation
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#### Owner

Alltel Corporation Attention To: Network Regulatory 5055 North Point Pkwy NP2NE Network Engineering Alpharetta , GA 30022	P: (770)797-1070 F: E: Network.Regulatory@verizonwireless.com
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#### Contact

Manager , Regulatory Attention To: Network Regulatory 5055 North Point Pkwy NP2NE Network Engineering Alpharetta , GA 30022	P: (770)797-1070 F: E: Network.Regulatory@verizonwireless.com
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### Environmental Compliance

Does the applicant request a Waiver of the Commission's rules for environmental notice?	Is the applicant submitting an Environmental Assessment?
-----------------------------------------------------------------------------------------	----------------------------------------------------------

11/26/24, 8:47 AM

ASR Application A1286345

No

No

Is another Federal Agency taking responsibility for environmental review?

Does the applicant certify to No Significant Environmental Effect pursuant to Section

No

Yes

Reason for another Federal Agency taking responsibility for environmental review

Basis for Certification

Environmental Notification is complete and an Environmental Assessment is not required.

Name of Federal Agency

Local Notice Date

07/18/2024

National Notice Date

07/24/2024

Certification

Authorized Party Conder, Lucas

Title

Authorized Representative

Receipt Date 10/08/2024

Comments

Comments

None

History

Date

Event

10/08/2024

Amendment Received

10/08/2024

Application Granted

06/11/2024

New Application Received

Trans Log

Date

Description

Existing Value

Requested Value

10/08/2024 Structure : The date the FAA determination was issued

08/26/2024

07/23/2024 Application : Identify the change type as Major or Minor

Minor

Major

07/23/2024 Environmental Compliance : National Notice Date

09/11/2024

07/24/2024

All Trans Log (9)

Pleadings

Pleading Type

Filer Name

Description

Date Entered

None

Automated Letters

Date

Description

None

Attachments

Type

Description

Date Entered

None

CLOSE WINDOW



**MINNESOTA DEPARTMENT OF TRANSPORTATION  
APPLICATION FOR ACCESS (DRIVEWAY) PERMIT**

Document Management System # \_\_\_\_\_  
 District 8 Permit # 8-A-2024-111483  
 C.S. 6402 T.H. 19  
 R.P. 55.32-RT  
 (THIS SECTION FOR MnDOT OFFICE USE ONLY.)

**ATTACH A SKETCH OF THE PROPOSED WORK AREA AND RELATION TO TRUNK HIGHWAY.  
SUBMIT TO DISTRICT OFFICE OF MINNESOTA DEPARTMENT OF TRANSPORTATION.**

<b>APPLICANT</b> THE TOWERS, LLC (APPLICANT); BUELL CONSULTING, INC. (AGENT)	<b>TELEPHONE</b> 612-875-1808	<b>ADDRESS (Street, City, State, Zip)</b> 720 MAIN STREET, SUITE 200 ST. PAUL MN 55118
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<b>PROPERTY OWNER</b> James P. DuBois	<b>TELEPHONE</b> (612) 308-2364	<b>ADDRESS (Street, City, State, Zip)</b> 3220 East Minnehaha Parkway, Minneapolis, Minnesota 55406
------------------------------------------	------------------------------------	--------------------------------------------------------------------------------------------------------

<b>LOCATION OF PROPOSED WORK</b> (City/Township) (County) (Distance) (N-S-E-W)	<b>SPECIFIC ROAD INTERSECTION OR LANDMARK</b>
Highway 19 in Vesta Redwood 0 Miles	of New driveway on the east

**WILL THIS ACCESS BE WITHIN TRIBAL LANDS? NO IF YES, WHICH ONE?**

<b>PURPOSE OF DRIVEWAY</b> Commercial Access to wireless telecommunications tower.	<b>REQUESTED ENTRANCE WIDTH</b> 12 Feet	<b>PROPERTY IS IN</b> Platted Area	<b>ZONING FOR PROPERTY IS</b> AG
---------------------------------------------------------------------------------------	-----------------------------------------	---------------------------------------	----------------------------------

<b>IS BUILDING TO BE CONSTRUCTED</b> YES Cell Tower	<b>WILL BUILDING BE</b> Permanent	<b>NUMBER OF PRESENT DRIVEWAYS TO PROPERTY</b> 0
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<b>EXACT LOCATION OF PRESENT DRIVEWAY(S)</b> No existing dedicated access. Landowner uses the driveway on the parcel directly south for farming.	<b>EXACT LOCATION OF PROPOSED DRIVEWAY(S)</b> Located approximately 475' south of the northern parcel line.
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<b>LEGAL DESCRIPTION OF PROPERTY</b> Part of the N1/2 of the NE1/4 of 10-112N-38W. See attached survey for full description.
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<b>WORK TO START ON OR AFTER</b> 3/1/2025	<b>WORK TO BE COMPLETED BY</b> 12/31/2025	<b>COMPANY PROJECT NUMBER</b> EAGLE VESTA
-------------------------------------------	-------------------------------------------	----------------------------------------------

**COMMENTS**  
 Tower construction is proposed in 2025 and will be owned/operated by Vertical Bridge (The Towers, LLC) as a build to suit for Verizon. Buell Consulting, Inc. is their representative during the permitting process.  
 The access should be constructed with a 18" culvert with 1:6 safety aprons.

**APPLICANT'S ACCEPTANCE, WAIVER AND INDEMNIFICATION**

The undersigned applicant hereby agrees to comply with applicable statutes, rules, and all the standard conditions and special provisions of this permit. The applicant understands and agrees that no work in connection with this application will be started until the application has been approved and the permit issued.

The applicant also understands that this permit may also be subject to the approval of local road authorities having joint supervision over said street or highway, and may be subject to applicant's compliance with the rules and regulations of the Minnesota Environmental Quality Board and/or any other affected governmental agencies.

The applicant is aware of circumstances or hazards that may arise while performing the work associated with this application that could result in injury, loss, damage or death, and the applicant assumes the risk of such circumstances, dangers or hazards, whether reasonably foreseeable or not.

The undersigned applicant expressly agrees that except for negligent acts of the State, its agents and employees, the applicant or his/her agents or contractor shall assume all liability for, and save the State, its agents and employees, harmless from any and all claims for damages, actions or causes of action arising out of the work to be done in connection with this application and permit.

<b>NAME AND TITLE</b> BLAIR RANSOM SITE DEVELOPMENT AGENT	<b>EMAIL ADDRESS</b> B.RANSOM@GRAHAMREDEV.COM
-----------------------------------------------------------------	--------------------------------------------------

<b>DATE</b> 10/31/2024	<b>SIGNATURE</b>
------------------------	------------------

**DO NOT WRITE BELOW THIS LINE**

**PERMIT NOT VALID UNLESS BEARING SIGNATURE AND NUMBER**

**AUTHORIZATION OF PERMIT**

In consideration of the applicant's agreement to comply in all respects with the applicable laws and the conditions of the Commissioner of Transportation pertaining to this permit, permission is hereby granted for the work to be performed as described in the above application, said work to be performed in accordance with the following standard conditions and special provisions:

**SEE ATTACHED STANDARD CONDITIONS AND SPECIAL PROVISIONS**

<u>12-31-2025</u> Date All Work To Be Completed By	 Authorized MnDOT Signature	<u>11-01-2024</u> Date of Authorized Signature
-------------------------------------------------------	--------------------------------	---------------------------------------------------

DISTRIBUTION	DEPOSIT REQUIREMENTS	DEPOSIT TYPE
Original to Area Maintenance Engineer Applicant Subarea Supervisor Roadway Regulations Supervisor	<input type="checkbox"/> No Deposit Required <input checked="" type="checkbox"/> Deposit Required in the Amount of \$ <u>1000</u> Date Deposit Received _____ <i>Deposit to be returned upon satisfactory completion of all work</i>	Cashier's Check # _____ Certified Check # _____ Money Order # _____ Bond # _____
<b>DATE WORK COMPLETED</b> <span style="float: right;"><i>(The date when the work is completed must be reported to the MnDOT District Permits Office)</i></span>		



## STATUTE AND RULES

### **Minn. Stat. §160.18 ACCESS TO ROADS; APPROACHES.**

**Subdivision 1. Culvert on existing highway.** Except when the easement of access has been acquired, a road authority, as to a highway already established and constructed may grant by permit a suitable approach to the highway. The requesting abutting property owner shall pay for the cost and installation of any required culverts unless a road authority, other than the commissioner, adopts by resolution a policy for the furnishing of a culvert to an abutting owner when a culvert is necessary for suitable approach to a road. The policy may include provisions for the payment of all or part of the costs of furnishing the culvert by the abutting landowner.

**Subd. 2. Approaches to new highway.** Except when the easement of access has been acquired, the road authorities in laying out and constructing a new highway or in relocating or reconstructing an old highway shall construct suitable approaches thereto within the limits of the right-of-way where the approaches are reasonably necessary and practicable, so as to provide abutting owners a reasonable means of access to such highway.

**Subd. 3. Access for particular uses.** The owner or occupant of property abutting upon a public highway, having a right of direct private access thereto, may provide such other or additional means of ingress from and egress to the highway as will facilitate the efficient use of the property for a particular lawful purpose, subject to reasonable regulation by and permit from the road authority as is necessary to prevent interference with the construction, maintenance and safe use of the highway and its appurtenances and the public use thereof.

### **Minn. Rules part 8810.4100 DEFINITIONS OF DISTRICT AND STREET CLASSIFICATIONS.**

**Subpart 1. Scope.** In the absence of an established classification by local authorities, the definitions in subparts 2 to 5 shall govern.

**Subp. 2. Major Street.** "Major street" means any road that has an average annual daily traffic volume of 1,500 vehicles or greater.

**Subp. 3. Minor Street.** "Minor street" means any road that has an average annual daily traffic volume less than 1,500 vehicles.

**Subp. 4. Rural district.** "Rural district" means all other locations not meeting the urban district definition.

**Subp. 5. Urban district.** "Urban district" means those properties contiguous to the trunk highway system of the state of Minnesota, including any street, that are built up with structures devoted to business, industry, or dwelling houses where such structures are situated at intervals of less than 100 feet for a distance of one-quarter of a mile or more.

### **8810.4300 PURPOSE AND SCOPE.**

**Subpart 1. Purpose.** The purpose of parts 8810.4100 to 8810.5600 is to establish certain optimum design specifications for driveways providing a means of ingress to and egress from private property located along and adjacent to the right-of-way of the trunk highway system of the state of Minnesota.

**Subp. 2. Scope.** The scope of parts 8810.4100 to 8810.5600 is confined within the framework of and intended to be consistent with Minnesota Statutes 1965, section 160.18, subdivision 3.

### **8810.4400 DRIVEWAY PERMITS.**

Authorization to construct or alter a driveway shall consist of a permit duly signed by the district engineer of the Minnesota Department of Transportation having responsibility for the maintenance and construction of the trunk highway in question. No driveway shall be constructed from or to a trunk highway until such permit has been obtained and supplemented by those permits that may be required by local governing authorities.

The commissioner of transportation may require the applicant, or their contractor, to furnish a deposit in the form of a cashier's check, certified check, a surety bond on corporate undertaking, in favor of the state of Minnesota, commissioner of transportation for any expense incurred by the state in the repairing of damage to any portion of the trunk highway right-of-way caused by work performed under a work permit or a permit for construction, including any out of the ordinary engineering supervision and inspection expense provided by the state. In those instances wherein a deposit is required, the amount of the deposit shall be specified in the special provisions of the permit. If a check is furnished, any moneys remaining over and above such expense shall be returned to the applicant.

### **8810.5200 CHANGES IN USE.**

In the event of a change in land use or major change in the traffic pattern of the existing facility, existing driveways are not automatically perpetuated and new driveway access applications shall be submitted.

### **8810.5300 REVOKING ACCESS.**

If the terms of the permit are violated, or if the commissioner of transportation determines that continuance of a driveway access is particularly hazardous, the commissioner may under the authority vested by law revoke the access.

### **8810.5400 PROHIBITED USES.**

No part of the right-of-way of a trunk highway or of a street over which a trunk highway is routed may be used for servicing of vehicles or the conduct of private business.

### **8810.5600 VARIANCES.**

A variance from the standards set forth in parts 8810.4100 to 8810.5500 may be allowed by the commissioner when the variance will facilitate the safe, efficient use of the property for a lawful purpose and will not interfere with the construction, maintenance, or safe and efficient use of the highway and its appurtenances by the public.

## ACCESS PERMIT GENERAL INFORMATION

To minimize site plan changes, a plat review shall be approved by the Minnesota Department of Transportation in accordance with Chapter 505 of the Minnesota Statutes and Minnesota Rule 8810.4100 – 8810.5600 prior to the issuance of any access permit. By this means, construction and maintenance plans for the portion of the trunk highway under consideration may suggest alternate or improved methods or standards of construction or reconstruction to the property owner and/or lessee.

## CONDITIONS OF ACCESS PERMIT

1. This permit is subject to compliance with Minnesota Statutes §160.18, Minnesota Rules parts 8810.4100 through 8810.5600 and each of these conditions.
2. No work under this application shall be started until application has been approved and the permit issued.
3. Any permanent signs or permanent traffic barriers (including crash cushions) installed on the State Highway system must be deemed crashworthy under the American Association of State Highway and Transportation Officials (AASHTO) "Manual for Assessing Safety Hardware, 2016 (MASH-16)". Where work on or near the traveled roadway is necessary, proper traffic signs, channelizing devices, warning lights, and barricades shall be erected to protect traffic, employees, and pedestrians. All temporary traffic control devices and methods shall conform to the Minnesota Field Manual on Temporary Traffic Control Zone Layouts, Minnesota Manual on Uniform Traffic Control Devices (MMUTCD), Minnesota Standard Signs and Markings Manual, and the appropriate provisions of Standard Specification 1710. All temporary traffic control devices shall be deemed crashworthy under the American Association of State Highway and Transportation Officials (AASHTO) "Manual for Assessing Safety Hardware, 2016 (MASH-16)" with exceptions as noted under MnDOT Technical Memorandum No. 19-03-T-01 Crashworthy Requirements for Temporary Traffic Control Devices. (See memo at: <http://dotapp7.dot.state.mn.us/edms/download?docId=2434220>)
4. Unless adequately protected by a traffic barrier, there shall be no work within the clear zone, nor shall pipe materials, equipment or other objects be stored within the clear zone. If temporary traffic barrier is used, it will be placed according to the "MnDOT Temporary Barrier Guidance Manual" (December 2018). (See website at: [www.dot.state.mn.us/trafficeng/workzone/doc/Temporary%20Barrier%20Guidance%20Manual%20181129.pdf](http://www.dot.state.mn.us/trafficeng/workzone/doc/Temporary%20Barrier%20Guidance%20Manual%20181129.pdf)) Any temporary traffic barrier (including crash cushions) must be deemed crashworthy under MASH-16.
5. Any person acting as a Flagger for permitted work shall have attended a training session taught by a MnDOT Qualified Flagger Trainer within the twelve months immediately preceding the start date of all flagging activity. A Flagger shall receive a Flagger Qualification Card, signed by a MnDOT Qualified Flagger Trainer, upon successful completion of this training. During all flagging activity, a Flagger must carry a signed Flagger Qualification Card on that Flagger's person and be in possession of a current Minnesota Flagging Handbook. The Minnesota Flagging Handbook is available from MnDOT Qualified Flagger Trainers or from a MnDOT District Office.
6. No foreign material such as dirt, gravel, or bituminous material shall be deposited or left on the road during the construction of driveway or installation of drainage facilities.
7. Upon completion of work, the permit holder must restore the trunk highway to its original condition or a condition satisfactory to Minnesota Department of Transportation, and the roadside shall be cleaned to its original status
8. After driveway construction is completed the permittee shall notify the Area Maintenance Engineer or his authorized representative that the work has been completed and is ready for final inspection and approval by the Minnesota Department of Transportation.
9. No changes or alterations in entrances may be made at any time without prior written permission from the Minnesota Department of Transportation.
10. Driveways shall be so constructed as to slope down away from the shoulder line of the trunk highway according to the most recent MnDOT Standard Plate No. 9000.
11. A security deposit may be required to insure proper restoration of highway surfaces and to cover payment for any damage to highways or State property. Additionally, any expense incurred by the Minnesota Department of Transportation above the posted deposit will be assessed against the applicant. In the event construction has not been started by the "WORK TO BE COMPLETED BY" date, this permit becomes null and void and the deposit will be refunded.

## SPECIAL PROVISIONS

All specifications of the Mn/Dot Standard Specifications book 2020 shall apply.

The installation authorized in this permit will be inspected by Corey Kack, Transportation Specialist, D8 – Marshall (507-537-2082), [corey.kack@state.mn.us](mailto:corey.kack@state.mn.us). The applicant or its contractor will notify him at least two days prior to starting the installation. MnDOT's inspector will approve all highway materials prior to placement, and the total installation must meet with his/her satisfaction.

Applicant or contractor prior to the start of construction shall submit a \$1000.00 security deposit in the form of a **money order, cashier's check, or certified check with no expiration date** made payable to **Minnesota Commissioner of Transportation**. It shall be sent to Corey Kack at the following address:

MN Department of Transportation  
Attn: Corey Kack  
1800 East college Drive  
Marshall, MN  
56258

Once the work is complete, immediately fill out and return the "Certificate of Completion..." sheet, attached to the permit. In addition, if any approved changes were made to the permit, during the installation and/or construction stages, please provide a copy of "as built" sketches. When the documentation is returned to the MnDOT office, the completed work shall be inspected. Your deposit (if initially required) shall be returned one year from the date of permit completion, or, if in the opinion of the MnDOT Area Maintenance Engineer, when the installation is satisfactory.

The applicant shall always provide in-house inspection while applicant/contractor is working on trunk highway right of way. Applicant shall provide a copy of the permit to his contractor to assure that the entrance will be constructed in accordance with MnDOT Rules and Regulations, permit requirements and special provisions. This permit or copy thereof must be in the possession of your contractor while working on the highway right of way.

Applicant and/or contractor shall construct residential entrance as per field and office review.

1. Entrance construction shall be performed according to MnDOT Standards, Specifications and Regulations. See attached sheets.
2. Maximum surfaced width of proposed entrance shall be 12 feet. 6 inches of Class 5 gravel is required on the driving surface.
3. 6 inches of black dirt is required on the side slopes and all disturbed areas. The slopes and disturbed areas shall be raked and seeded. Seed or sod shall be the same as/or compatible with the existing turf cover.
4. For roadway drainage purposes the applicant and/or contractor shall furnish a minimum 18" culvert of sufficient length to allow for 6:1 side slope and two 6:1 safety apron. The culvert flow lines shall perpetuate designed roadway drainage patterns. Entrance culverts must be new and must meet size, material and installation

specs as stated in spec #3222 provided in MnDOT Construction Specifications, 2020 edition. Entrance culverts may be extended to meet the required specs, if MNDOT's maintenance staff deems the existing culvert applicable. Applicant is responsible for water flow at the location of the entrance.

5. Minimal shaping of the roadway ditch shall be allowed.

It is the applicant's responsibility to utilize the "Gopher State One Call" excavation notice system required under Minnesota Statute Chapter 216D, 48 hours before performing any excavation (phone 811 or 651-454-002 Twin Cities Metro Area or Toll Free 1-800-252-1166 or on the web at: [www.gopherstateonecall.org/](http://www.gopherstateonecall.org/)).

The applicant shall coordinate the proposed installation with the existing facilities of others in the area. The applicant and/or contractor shall protect all utilities located on the lands covered by this permit at no expense to the Minnesota Department of Transportation. Relocation costs shall be the responsibility of the applicant.

Mandatory Contractor/Applicant 511 Road Work Traffic Impact Information:

Any permit that impacts traffic (ex. lane closer, flagging operation, etc.) the Applicant is required to complete the document at the following 511 link:

[https://mndotforms.formstack.com/forms/511\\_road\\_work\\_and\\_traffic\\_impact\\_information](https://mndotforms.formstack.com/forms/511_road_work_and_traffic_impact_information)

The applicant shall furnish, install, and maintain all required traffic control devices and sidewalk closure devices according to the Minnesota "Temporary Traffic Control Zone Layouts Field Manual (January 2018). (See website at:

<http://www.dot.state.mn.us/trafficeng/publ/fieldmanual/index.html>

The applicant will furnish, install, and maintain all required traffic control devices according to Minnesota's "Temporary Traffic Control Zone Layouts Field Manual" (January 2018) (see website at: [www.dot.state.mn.us/trafficeng/publ/index.html](http://www.dot.state.mn.us/trafficeng/publ/index.html)), while performing the construction authorized by this permit. All temporary traffic control devices used must be deemed crashworthy under MASH-16, with exceptions as stated in MnDOT Technical Memorandum No. 19-03-T-01 Crashworthy Requirements for Temporary Traffic Control Devices. (See memo at: [Traffic Engineering - Tech Memos \(state.mn.us\)](http://www.dot.state.mn.us/trafficeng/publ/techmemos/index.html))

Any person acting as a Flagger for permitted work shall have attended a training session taught by a Mn DOT Qualified Flagger Trainer within the twelve months immediately preceding the start date of all flagging activity. A Flagger shall receive a Flagger Qualification Card, signed by a MnDOT Qualified Flagger Trainer, upon successful completion of this training. During all flagging activity, a Flagger must carry a signed Flagger Qualification Card on that Flagger's person and be in possession of a current Minnesota Flagging Handbook. The Minnesota Flagging Handbook is available from MnDOT Qualified Flagger Trainers.

All persons while performing authorized work on MnDOT Right of Way shall be required to wear a High Visibility Safety Garment that meets or exceeds ANSI/ISEA 107 2004 Standards for a Class 2 garment for daytime hours and a Class 3 garment with pants for nighttime hours or low light conditions. In addition, all persons shall be required to wear a high visibility soft cap or ANSI X 89 approved hard hat while working on the MnDOT Right of Way.

The applicant shall not perform any work or have any equipment on the roadway system (mainline, shoulder area, ditch bottoms) when weather or road conditions are hazardous due to snow, ice, rain, or dust; when visibility is less than ¼ mile; or when winds or wind gusts prevent the safe operation of equipment. It is the applicant's responsibility to monitor local weather reports or MN 511 to determine satisfactory working weather conditions. Minnesota road condition information is available at the web site <https://.511.mn.org>. Work may be shut down for weather and safety reasons at any time at the discretion of the Assistant District Maintenance Engineer

The applicant will not deposit any material on the traveled roadway. Two-way traffic shall be always maintained.

There will be no work within the clear zone and no pipe materials, equipment or other objects stored within the clear zone without the prior approval of the Assistant District Maintenance Engineer. Any work approved within the clear zone or objects stored within the clear zone must be protected by a traffic barrier. If the pit or excavation is open overnight the applicant must use appropriately applied temporary traffic barrier to protect it. The clear zone is defined in the "Temporary Traffic Control Zone Layouts Field Manual" (January 2018). (See website at: [www.dot.state.mn.us/trafficeng/publ/index.html](http://www.dot.state.mn.us/trafficeng/publ/index.html) ). If temporary traffic barrier is used, it will be placed according to the "MnDOT Temporary Barrier Guidance Manual". (See website at:

[Temporary Traffic Control - Traffic Engineering - MnDOT \(state.mn.us\)](http://www.dot.state.mn.us/trafficeng/publ/index.html) Any temporary traffic barrier (including crash cushions) must be deemed crashworthy under MASH-16.

Materials shall not be placed on highway right of way more than one week in advance of their use. All materials equipment shall be stored at the back edge of right of way or off right of way and shall be marked in such a manner to be visible to snowmobiles and other off highway vehicles. In no case shall materials/equipment stored on State Right-of-Way be in the clear zone

No material shall be deposited on the traveled roadway. No spoil piles shall be left overnight on state right of way.

Shoulders and/or roadways disturbed by the construction operations shall be repaired immediately with suitable and approved materials; such repairs shall match existing slopes and grades.

All drainage structures removed or damaged shall be restored by the applicant to as good or better condition than before operations began. Drainage and slopes shall be satisfactorily restored. All drainage patterns shall be perpetuated.

All areas disturbed by the applicant shall be restored with a minimum of 6" of topsoil (according to MnDOT Standard Specification 3877 Table 1 Common Topsoil Borrow). The Permittee must stabilize and revegetate areas of disturbed soil. The Permittee must, at no expense to the Department, use a MnDOT approved native seed mix suitable for site conditions, except in areas maintained as frequently mowed lawn, this requirement applies to all Department property. Approved native seed mixes can be found in the MnDOT Seeding Manual. Note that native seed mixes are denoted with a 3#-### series mixture number in the manual. Please direct questions to the MnDOT Erosion Control and Stormwater Management Unit. Category 20 blanket on slopes

and Category 25 blanket in ditch bottoms shall be used according to MnDOT Specification 2575. Seed must be obtained from a MnDOT Approved Seed Vendor (<http://www.dot.state.mn.us/environment/erosion/certifiedvendors.html>) and blanket products must be on the 2020 Rolled Erosion Prevention Products Approved Products List (<http://www.dot.state.mn.us/products/erosioncontrolandlandscaping/erosioncontrolblankets2020.html>). If rolled erosion control products are to be used, they must be limited to bio-netting, natural netting or woven type products without plastic mesh nettings or other plastic components.

When frozen conditions prevent the applicant from completing turf restoration the applicant must temporarily stabilize the disturbed area. Use seed mix 22-111 following the winter seeding method and type 1 mulch following the winter mulching method in the current MnDOT Standard Specification for Construction section 2575. The applicant is responsible for completing final turf restoration prior to May 15 of the following spring.

Conditions may require temporary measures to control erosion and sedimentation. The applicant will install any temporary erosion measures concurrently with the operation or as soon as practicable. Temporary erosion controls are short lived devices such as straw bale structures, silt curtains, sediment traps or other means to temporarily protect the overall work prior to restoration of the worksite. The Assistant District Maintenance Engineer will decide when these measures are required, according to the most current version of the MnDOT Standard Specification for Construction 2573.

It is expressly understood that this permit is issued subject to the applicant's compliance with the rules and regulations of the Minnesota Environmental Quality Board and any other affected governmental agencies.

**CERTIFICATE OF COMPLETION OF PERMIT INSTALLATION**  
**for the**  
**STATE OF MINNESOTA – DEPARTMENT OF TRANSPORTATION**

TO: Corey Kack  
Permits  
1800 East College Drive  
Marshall, MN 56258 Phone:  
507-537-2082 Email:  
[corey.kack@state.mn.us](mailto:corey.kack@state.mn.us)

State Highway Permit Number: 8-A-2024-111483  
Control Section: 6402  
State Highway: 19  
Date: 11-01-2024

I hereby certify that all the permit requirements have been completed for installation as described in, and in accordance with, all the permit requirements.

Applicant/permittee name (please print): THE TOWERS,LLC (BUELL CONSULTING)

Applicant/permittee signature: \_\_\_\_\_  
Date: \_\_\_\_\_

THE FOLLOWING SECTION IS TO BE COMPLETED BY MnDOT

All work covered by the permit has been satisfactorily completed.

Inspected by (please print) \_\_\_\_\_

Maintenance signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Deposit Number Pending \_\_\_\_\_  
in the amount of \$ 1000 \_\_\_\_\_

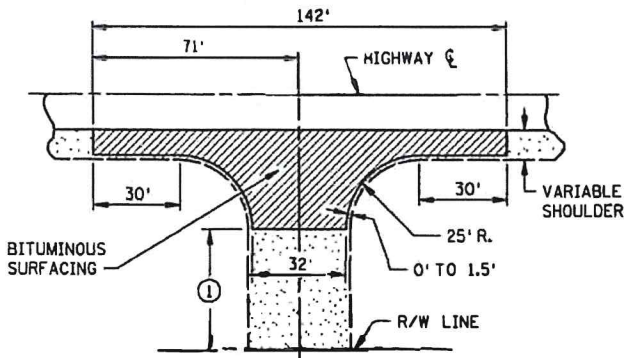
will remain in effect until all requirements of the special provisions are met; at which time, the deposit will be released if, in the opinion of the Sub Area Supervisor, the work has been satisfactorily completed.

Where approved changes are made in the installation contrary to the application sketches, three (3) copies of "as built" sketches must be submitted with the signed certificate.

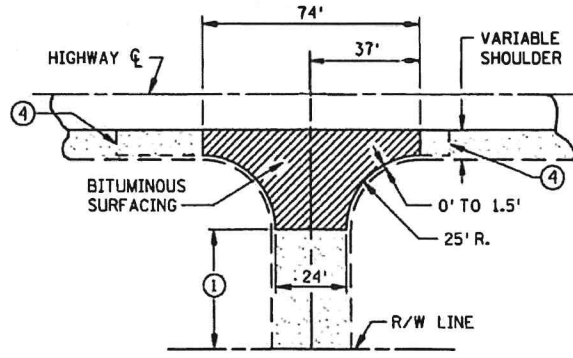
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THE APPLICANT, IMMEDIATELY UPON COMPLETION OF THE FULL PERMIT REQUIREMENTS, SHALL SIGN AND RETURN THIS "CERTIFICATE OF COMPLETION OF PERMIT INSTALLATION" AND RETURN IT TO: COERY KACK, PERMITS DEPARTMENT AT THE ADDRESS LISTED ABOVE.

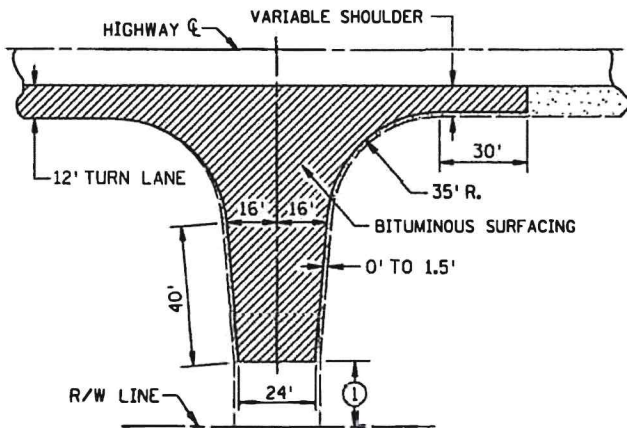
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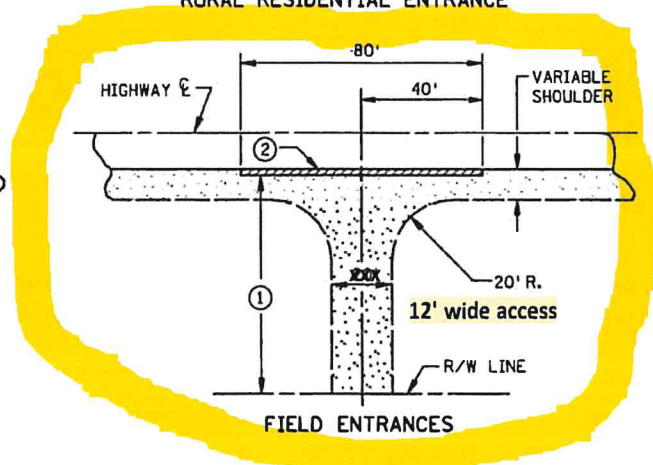
COMMERCIAL - INDUSTRIAL - FARM ENTRANCES



RURAL RESIDENTIAL ENTRANCE

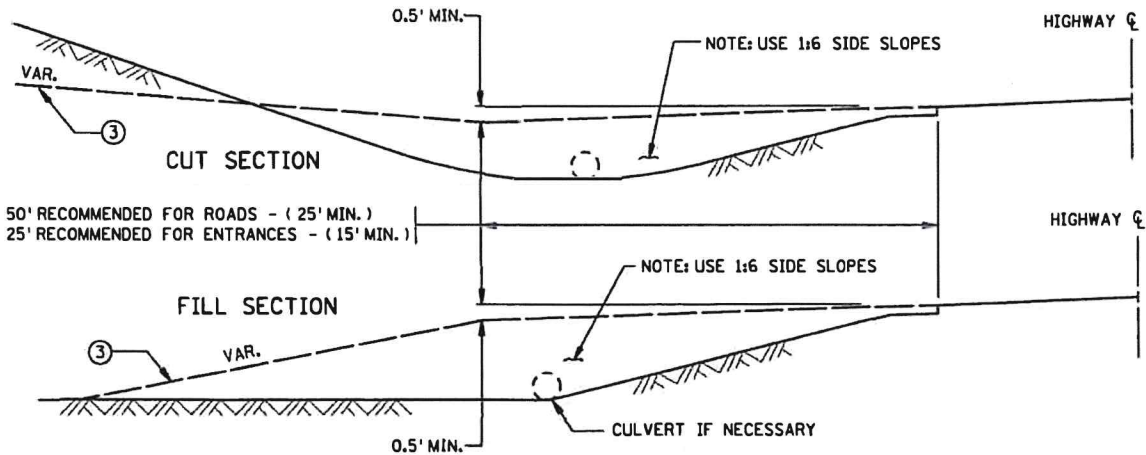


LOW VOLUME ROAD



FIELD ENTRANCES

- ① SURFACING TO MATCH EXISTING CONDITIONS. WHERE THERE IS NO SURFACING, PLACE GRAVEL BEYOND BITUMINOUS SURFACING TO R/W LINE.
- ② PLACE 2 FT. WIDE BITUMINOUS SURFACING AS DIRECTED BY ENGINEER.
- ③ 8% MAXIMUM COMMERCIAL; 15% MAXIMUM RESIDENTIAL.
- ④ THE USE OF PAVING SIMILAR TO COMMERCIAL ENTRANCES MAY BE APPROPRIATE FOR SOME RESIDENCES - AS SHOWN IN PLANS OR DIRECTED BY THE ENGINEER.



CROSS SECTIONS

APPROVED SEPT. 27, 2012

*[Signature]*  
STATE DESIGN ENGINEER

STATE OF MINNESOTA  
DEPARTMENT OF TRANSPORTATION

APPROACHES AND ENTRANCES  
RECOMMENDED STANDARDS

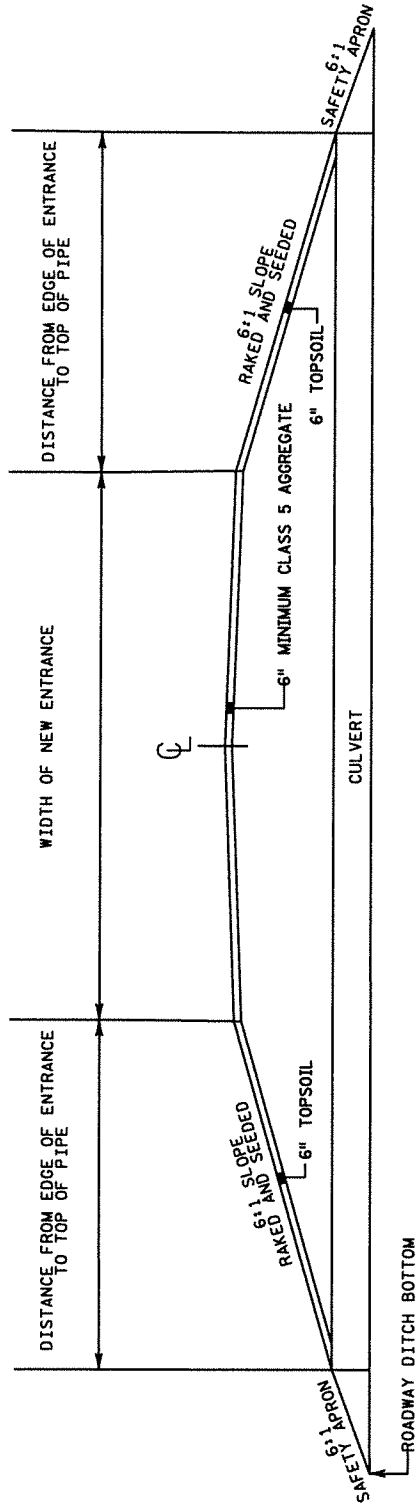
SPECIFICATION  
REFERENCE

STANDARD  
PLATE  
NO.

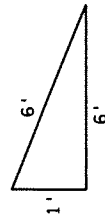
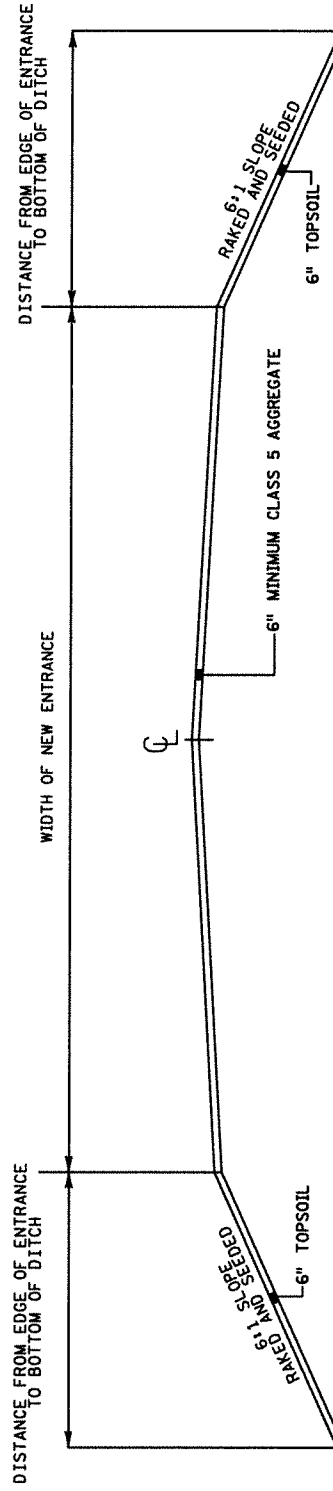
9000E



TYPICAL SECTION  
CULVERT REQUIRED



TYPICAL SECTION  
CULVERT NOT REQUIRED



RIGHT OF WAY  
ENTRANCE TYPICAL SECTION

**AFFIDAVIT OF SERVICE VIA U.S. MAIL**

STATE OF MINNESOTA    )  
                                       ) ss  
 COUNTY OF REDWOOD   )

**RE:**   *Application for Conditional Use Permit submitted by Blair Ransom of Buell Consulting, Inc. as agent for Verizon Wireless o/b/o landowner James DuBois; Permit Application No. 11-24*

I, Lali Ortega, a person not less than eighteen (18) years of age, being first duly sworn upon oath, hereby state a copy of the following:

1. **Notice of Public Hearing on *Application for Conditional Use Permit*; and**
2. **Notice of Public Hearing**

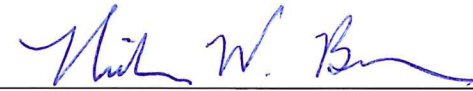
were duly served upon:

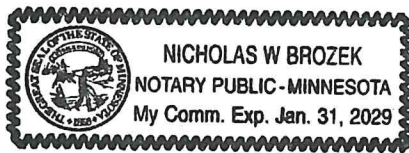
-SEE ATTACHED-

by enclosing a copy of the same in an envelope, with postage prepaid, and depositing said envelope in a United States Postal Service mailbox located at Redwood Falls, Minnesota on the   10<sup>th</sup>   day of January, 2025.

  
 \_\_\_\_\_  
 Lali Ortega  
 Environmental Administrative Assistant


Subscribed and sworn to before me, a Notary Public, on this   10<sup>th</sup>   day of January, 2025, by Lali Ortega.

  
 \_\_\_\_\_  
 Notary Public



FID	OBJECTID	Parcel ID	NAME	C/O	Address	Address2	CITY	STAT	ZIP
1775		2082 920153050	ALEXANDERDANIEL D & MARIA D		475 CSAH 10 E		VESTA	MN	56292
1857		2169 920162060	BAUNED/DAVID & KATHRYN		310 W CSAH 30		VESTA	MN	56292
2031		2368 720161020	DUBOIS/JAMES P		3220 E MINNEHAWA PKWY		MINNEAPOLIS	MN	55406
1820		2130 920152010	GLADITSCH/STEVEN D & JEAN E		PO BOX 112		VESTA	MN	56292
6285		7040 720162040	GOBUSHI/GEORGE M & JENIFER L		32866 DAYTON AVE		VESTA	MN	56292
1941		2263 720152080	HENRIK/SEMDANIEL M/TRUST ET/		PO BOX 170		VESTA	MN	56292
1918		2236 923600060	KEA/BAYLEY		157 SE DEWEY ST		VESTA	MN	56292
1777		2084 920153010	KLETSCHER/HAROLD & MARILYN		110 S CO RD 10		VESTA	MN	56292
1942		2264 927500220	KOLANDER/JUSTIN & ANGEL		134 W DEWEY ST		VESTA	MN	56292
1938		2259 927500240	KOLANDER/MONNA R & LINDA A		PO BOX 38		VESTA	MN	56292-0038
2028		2365 720152020	KUEHN/RAMONA J/ETAL		6163 130 AVE		ECHO	MN	56237
1842		2228 927500140	LEMCKE/HARLAN & KAREN		PO BOX 272		VESTA	MN	56292
1910		2154 920152030	LOPPNOW/JAMES R&		186 SCHLEY ST		VESTA	MN	56292
1856		2168 920162010	MAASCH/JEFFREY G & ELINA		PO BOX 8		VESTA	MN	56292
1769		2076 720153020	MEIERO RING		29846 300 ST		REDWOOD FALLS	MN	56293
1919		2237 923600140	MONTGOMERY/MICHAEL V/&		390 N BROADWAY ST		VESTA	MN	56292-1178
1917		2235 923600040	NORDBY/BRIAN M		383 OAK ST		VESTA	MN	56292
1761		2068 720153040	PASKEWITZ/SUSAN/ETAL		102 CRESTVIEW DR		REDWOOD FALLS	MN	56283-1202
14670		18617 720093040	PENSKKE/BRADLEY JAMES&		17155 CO HWY 30		VESTA	MN	56292
1933		2264 927500280	PISCHKE/BERNIE/CE/ETAL		PO BOX 33		VESTA	MN	56292
1920		2239 927500160	RIGGE/JAMIE		39462 IMPALA AVE		REDWOOD FALLS	MN	56293-2629
1965		2290 720152050	RODRIGUEZ/JOSE JUAN MARQUE		375 BROADWAY ST		VESTA	MN	56292
14669		18616 720093020	SCHUNK/GARY & LISA		31713 EVERGREEN AVE		VESTA	MN	56292
13310		16200 927500290	SVERHUS/KEVIN&		1075 590 ST		ECHO	MN	56237
2027		2364 720152040	ST JOHNS EVAN LUTH CHURCH		PO BOX 42		VESTA	MN	56292
1766		2073 720153050	VESTA CEMETERY ASSOCIATION		32637 FAIRVIEW AVE		BELVIEW	MN	56214
1926		2245 720162020	VESTA/CITY OF		PO BOX 7		VESTA	MN	56292-0007
1932		2253 927500260	VOGEL/TERRY		18063 CO HWY 30		VESTA	MN	56292
1958		2281 720161060	WALL/JEFFREY A		190 DEWEY ST		VESTA	MN	56292
1773		2080 920163020	WESTWOOD PROPERTY GROUP		PO BOX 271		VESTA	MN	56292-0271
		APPLICANT	VESTA TOWNSHIP		318 WESTWOOD DR		REDWOOD FALLS	MN	56283
			BLAIR RANSOM		31826 DERBY AVE		VESTA	MN	56292
					720 MAIN ST STE 200		ST PAUL	MN	55118

**TO:** Whom It May Concern

**FROM:** Jeanette Pidde   
Land Use and Zoning Supervisor  
Redwood County Environmental Office



**DATE:** January 10, 2025

**RE:** Notice of Public Hearing on Application for Conditional Use Permit

Please find enclosed a *Notice of Public Hearing* regarding an *Application for Conditional Use Permit* submitted by Blair Ransom of Buell Consulting, Inc., as agent for Verizon Wireless, o/b/o landowner James DuBois, pursuant to Redwood County Code of Ordinances, Title XV, Sections 153.142 and 153.381. Vertical Bridge has been assigned tower ownership rights from Verizon Wireless in this matter. Vertical Bridge is proposing to construct a 250-foot self-supporting telecommunications tower (259-foot overall height including lightning rod) on the following described property:

Part of the North One-half of the Northeast Quarter, Section 16, Township 112 North, Range 38 West, Vesta Township, Redwood County, Minnesota, with exceptions.

A public hearing thereon will be held before the Redwood County Planning Commission at the regularly scheduled Planning Commission meeting starting at 1:00 p.m. on Tuesday, the 28<sup>th</sup> day of January, 2025. The meeting will be held in the Board Room of the Redwood County Government Center, 403 South Mill Street, Redwood Falls, MN 56283.

This application was previously heard on November 26<sup>th</sup>, 2024, however, notice of the hearing was insufficient. Pursuant to Redwood County Zoning Ordinance, all property owners of record within five hundred (500) feet of the incorporated areas and/or one-quarter (1/4) of a mile of the affected property or the ten (10) properties nearest to the affected property, whichever would provide notice to the greatest number of landowners in the unincorporated areas, the township in which the affected property is located, and all municipalities within two (2) miles of the property are required to be notified in writing of the time and place of the public hearing.

If you have any comments or questions regarding this matter, please contact the Redwood County Environmental Office by telephone at (507) 637-4023, via email at [Environmental@co.redwood.mn.us](mailto:Environmental@co.redwood.mn.us), or by mail at *Redwood County Environmental Office, P.O. Box 130, Redwood Falls, MN 56283*, and/or attend the public hearing at the time and date set forth in the *Notice of Public Hearing*.

enclosure

cc: Blair Ransom  
James DuBois

Redwood County Government Center - Environmental Department  
P.O Box 130 Redwood Falls, MN 56283  
(507) 637-4023 [redwoodcounty-mn.us](http://redwoodcounty-mn.us) [Environmental@co.redwood.mn.us](mailto:Environmental@co.redwood.mn.us)



## NOTICE OF PUBLIC HEARING

An *Application for Conditional Use Permit* was filed by Blair Ransom of Buell Consulting, Inc., as agent for Verizon Wireless, o/b/o landowner James DuBois, pursuant to Redwood County Code of Ordinances, Title XV, Sections 153.142 and 153.381. The application was heard at the November 26<sup>th</sup>, 2024, Planning Commission meeting. Since that time, the tower owner has changed from Verizon to Vertical Bridge. No other changes to the application were made. Vertical Bridge is proposing to construct a 250-foot self-supporting telecommunications tower (259-foot overall height including lightning rod) on the following described property:

Part of the North One-half of the Northeast Quarter, Section 16, Township 112 North, Range 38 West, Vesta Township, Redwood County, Minnesota, with exceptions.

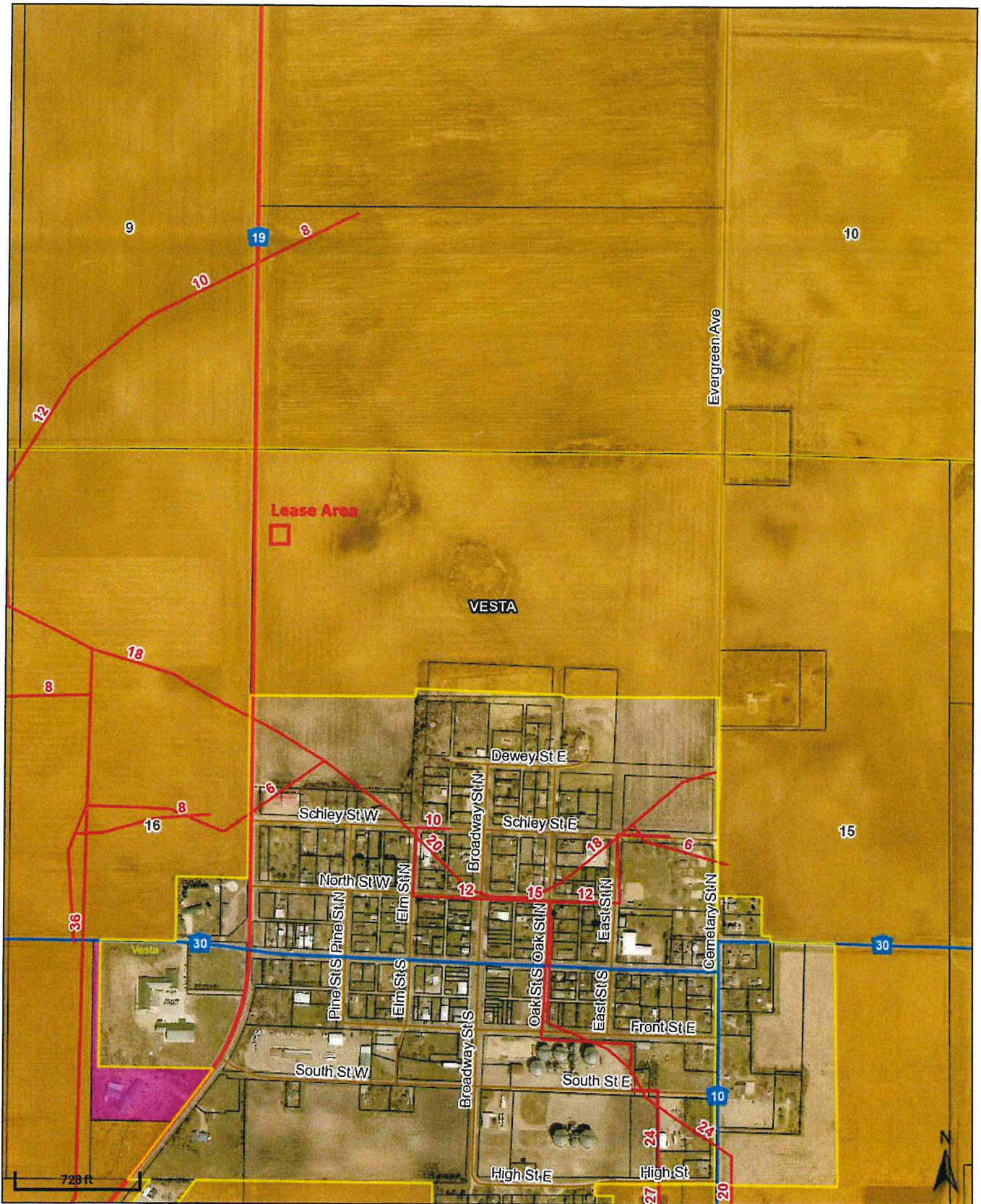
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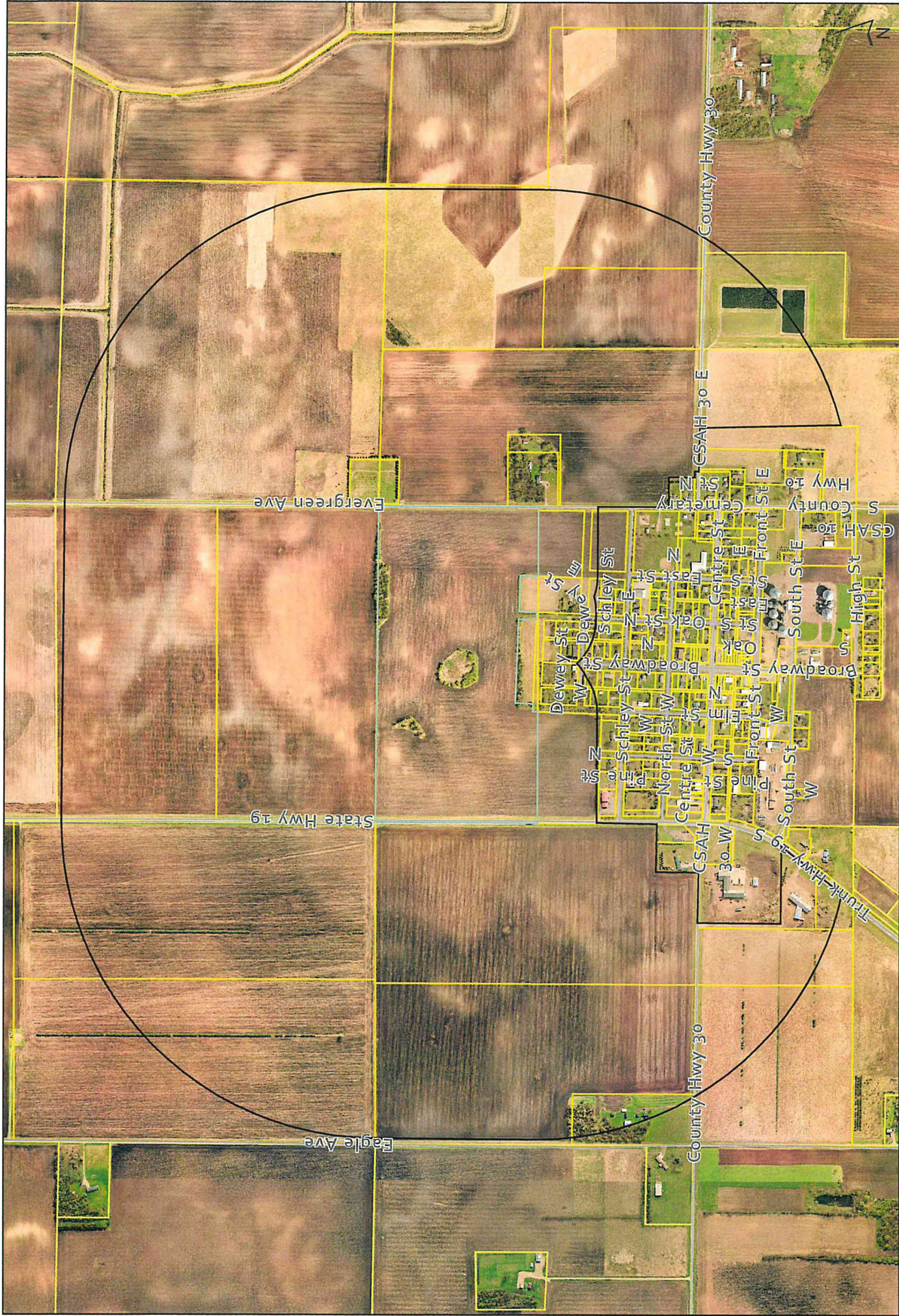
If you have any comments or questions regarding this matter, please contact the Redwood County Environmental Office by telephone at (507) 637-4023, via email at [Environmental@co.redwood.mn.us](mailto:Environmental@co.redwood.mn.us), or in writing at Redwood County Environmental Office, P.O. Box 130, Redwood Falls, MN 56283.

DATED: January 9, 2025

Jeanette Pidde  
Land Use & Zoning Supervisor  
Redwood County Environmental Office

# Neighborhood





Parcel ID: 72-016-1020

Selected Parcel

Notification Area

Parcels

Municipal Boundaries

Sections

Roads

**CUP Notification Area:**

**500 ft & 0.25 miles from selected parcel**

0 1,000 2,000

Feet

**REDWOOD COUNTY PLANNING COMMISSION**

**Vertical Bridge – James DuBois Tower  
Conditional Use Permit Application #11-24  
January 28, 2024**



**FINDINGS OF FACT**

***ORDINANCE CRITERIA – The Planning Commission may recommend the granting of a Conditional Use Permit in any district provided the proposed use is listed as a conditional use for the district and upon a showing that the standards and criteria stated in this Ordinance will be satisfied and that the use is in harmony with the general purposes and intent of this Ordinance and the Comprehensive Plan.***

**In determining whether the proposed use is in harmony with the general purposes and intent of the Ordinance and the Comprehensive Plan, the Planning Commission shall consider and make findings on the following questions:**

- 1) What potential health safety and welfare impacts were raised at the hearing and why will they, or why won't they, impact the neighboring residents?

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- 2) What potential impacts on area property uses were raised at the hearing and why will they, or why won't they, impact the use and enjoyment of other property in the area?

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3) What potential impacts on property values or future development were raised at the hearing, and why will they, or why won't they, impact the neighboring properties?

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4) What infrastructure is needed to support the proposed use and how will it be provided?

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5) How do the goals, purpose and policies of the Zoning Ordinance and Comprehensive Plan apply to the proposed project?

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NAME: \_\_\_\_\_

DATE: \_\_\_\_\_